



## Advisory Design Panel Report

### For the Meeting of September 24<sup>th</sup>, 2025

---

**To:** Advisory Design Panel **Date:** September 24<sup>th</sup>, 2025  
**From:** Chloe Tunis, Senior Planner  
**Subject:** **Development Permit with Variances Application No. 000285 for 2931 and 2937 Shelbourne Street**

---

#### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit Application for 2931 and 2937 Shelbourne Street and provide advice to Council.

The proposal is for a nine-unit townhouse development within one building on two lots which are proposed to be consolidated. A concurrent Rezoning Application accompanies the Development Permit with Variances Application.

The properties are situated in Development Permit Area 7A: Corridors as well as Development Permit Area 15F: Missing Middle Housing and the following policy documents were considered in assessing this Application:

- *Official Community Plan (OCP, 2012)*
- *Oaklands Neighbourhood Plan (1993)*
- *Design Guidelines for: Multi-Unit Residential, Commercial and Industrial (2012, revised 2019)*
- *Revitalization Guidelines for Corridors, Villages and Town Centres (2017)*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (2006)*
- *Missing Middle Design Guidelines (2022)*

Some context has also been provided in relation to the draft Official Community Plan, associated design guidelines and draft Zoning Regulation Bylaw. The public hearing for these bylaws began on September 11<sup>th</sup>, and due to lack of time, the public hearing is scheduled to proceed on October 2<sup>nd</sup>. If they are adopted by Council, this application would be subject to the updated bylaws and policies. Until such a time, the existing guidelines identified above still apply.

Under the draft new OCP, the sites will be designated as a Priority Growth Area for Residential Infill, which supports intensive, primarily residential forms.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- Site planning and street relationship
- Setbacks, site coverage and open space, landscaping and useable outdoor areas
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

## **BACKGROUND**

|                                 |                                                                                              |
|---------------------------------|----------------------------------------------------------------------------------------------|
| <b>Applicant:</b>               | Matthew Gustavson<br>Gustavson Capital Corporation                                           |
| <b>Architect:</b>               | Jesse Nguyen, Architect AIBC<br>Jesse Nguyen Architecture                                    |
| <b>Development Permit Area:</b> | Development Permit Area 7A: Corridors<br>Development Permit Area 15F: Missing Middle Housing |
| <b>Heritage Status:</b>         | N/A                                                                                          |

## **Description of Proposal**

The proposal is to construct nine townhouse units within one building on two consolidated lots currently occupied by two single family dwellings. The site is eligible for a missing middle development, subject to Schedule P – Missing Middle Regulations of the zoning bylaw, however, the proposal exceeds the maximum permitted density. For this reason, a rezoning is required.

The proposal includes the following major design components:

Building and site design elements include:

- low-rise (3 storey) building form with a galley style site configuration
- internal garages (one per unit) at grade accessed off the vehicle drive aisle
- primary pedestrian entrances at the North elevation
- individual amenity space in the form of South facing balconies on the 2<sup>nd</sup> storey, overlooking the parking area as well as small open landscaped patio at the North side entrances
- private balconies at the 2<sup>nd</sup> storey.

Building materials include:

- A mix of Hardie shingles, clapboard and board and batten
- Aluminium railings at the second storey balconies
- Wood fencing at the street front and to divide the rear landscaped patio areas.

Landscaping elements include:

- Permeable paver driveway and pedestrian path to the North entries
- Soft landscaping in the front yard and North entries
- Removal of one bylaw protected tree
- Six new trees to be planted, pending soil volume confirmation

- Planted beds at the rear of the site as well as in the front yard and adjacent to the North entries

The following data table compares the proposal with the current Schedule P – Missing Middle Regulations applicable to this site. An asterisk is used to identify where the proposal is less stringent than the existing zone.

| <b>Zoning Criteria</b>                                                    | <b>Proposal</b>                           | <b>Current Schedule P</b>       |
|---------------------------------------------------------------------------|-------------------------------------------|---------------------------------|
| Lot area (m <sup>2</sup> ) – min                                          | 1,254                                     | N/A                             |
| Density (Floor Space Ratio) – max                                         | <b>1.05:1*</b>                            | 0.5:1                           |
| Dwelling unit floor area (m <sup>2</sup> ) – min                          | 107.00                                    | 33.00                           |
| Lot Width (m) – min                                                       | 24.38                                     | 12                              |
| <b>Total floor area (based on FSR) (m<sup>2</sup>) – max</b>              | <b>1,321.00*</b>                          | <b>627</b>                      |
| All floor area (including potential basement) (m <sup>2</sup> ) – maximum | 1,321.00                                  | 1,410                           |
| Number of dwellings per building - max                                    | 9                                         | 6                               |
| Height (m) – max                                                          | 10.44                                     | 11                              |
| <b>Lot coverage (%) – max</b>                                             | <b>47.00*</b>                             | <b>40</b>                       |
| <b>Open lot space (%) – min</b>                                           | <b>28.00*</b>                             | <b>45</b>                       |
| <b>Landscaped area (m<sup>2</sup>) – min</b>                              | <b>59.00* (4% of lot area)</b>            | <b>81.51 (6.5% of lot area)</b> |
| <b>Setbacks (m) (min)</b>                                                 |                                           |                                 |
| <b>Front (Shelbourne Street)</b>                                          | 4.14 - building<br><b>3.34* - balcony</b> | <b>4</b>                        |
| Side (South)                                                              | 7.00 - building<br>5.16 - balcony         | 1.50                            |
| Side (North)                                                              | 5.19                                      | 1.50                            |
| <b>Rear</b>                                                               | <b>3.74*</b>                              | <b>12.84 (25% lot depth)</b>    |
| <b>Entire building distance to street (m) (min.)</b>                      | <b>47.61*</b>                             | <b>30.00</b>                    |
| Vehicle parking – min                                                     | 9                                         | 7                               |
| Van accessible parking – min                                              | 1                                         | 1                               |
| Visitor parking – min                                                     | 1                                         | 1                               |

| Zoning Criteria                     | Proposal  | Current Schedule P              |
|-------------------------------------|-----------|---------------------------------|
| Driveway Material                   | Pavers    | N/A                             |
| <b>Accessible parking – van</b>     | <b>0*</b> | <b>1</b>                        |
| <b>Bicycle parking stalls – min</b> |           |                                 |
| Long Term                           | n/a       | n/a (access in private garages) |
| Short Term                          | 7         | 6                               |

## Sustainability Features

Beyond the minimum regulatory requirements, the applicant has proposed to incorporate low-carbon heating solutions (unspecified), though they have not yet confirmed commitment to securing this aspect of the design through a legal agreement.

## Consistency with Policies and Design Guidelines

### Official Community Plan

The *Official Community Plan*, 2012 (OCP) Urban Place Designation for the subject properties is Traditional Residential, which supports attached dwellings on arterial and secondary arterial roads up to approximately three storeys. The General Development Guidance section of the OCP encourages logical assembly of land (Section 6.8). The proposal is generally consistent with the envisioned use and density, however the approach is not consistent with the design guidelines and requires a number of variances.

Within the OCP, this site falls within two development permit areas: Development Permit Area 7A: Corridors and Development Permit Area 15F: Missing Middle Housing. More information on these DPAs and the associated design guidelines are included below.

### Oaklands Neighbourhood Plan

The *Oaklands Neighbourhood Plan* includes as an objective to provide a range of housing types and sizes through limited infill and redevelopment that is targeted at family-oriented housing. It also identifies that infill should be focused along existing major roads, which is the case for the subject site. Ground oriented townhouses are specifically considered an appropriate use on the portion of Shelbourne that this site falls within.

The Plan includes more specific direction and includes this site within an area of potential change with consideration of rezoning applications for townhouses with up to 18 units per acre with a 2.5 storey height limit. The site area required per townhouse unit is 225 m<sup>2</sup>, which is the standard in the RK-3 Zone, Shelbourne Townhouse District (the zone used for a number of existing townhouse developments along the Shelbourne corridor). With the proposed nine units, the site area per unit is only 139m<sup>2</sup>, therefore the proposal is inconsistent with the Neighbourhood Plan.

## Design Guidelines for Development Permit Area 7A: Corridors

This property falls within Development Permit Area (DPA) 7A: Corridors. The relevant objectives of this DPA include:

- *To enhance the function of Shelbourne Street as a frequent transit corridor through transit-oriented streetscaping, with the design of adjacent development to support and advance this objective.*
- *To ensure corridors are compatible with adjacent and nearby lower density residential neighbourhoods through human-scaled urban design and a sensitive transition in building form and place character.*
- *To achieve more livable environments through considerations for human-scaled design, quality of open spaces, privacy impacts, safety and accessibility.*

Special conditions that justify this DPA designation that are applicable to this application include:

- *Multi-unit residential may be located along or visible from prominent transit corridors, quiet streets or public spaces. They therefore merit attention to mitigate any negative impacts, co-exist with adjacent existing or planned future development, support livability for new residents, and enhance the character of streetscapes and surrounding areas*

## Design Guidelines

The *Design Guidelines for: Multi-Unit Residential, Commercial and Industrial* (2012) apply to multi-unit buildings containing three or more dwelling units and seek to achieve development that results in design excellence, livability, contribution to sense of place and urbanism that is responsive to Victoria's context. A key part of the Guidelines relates to site planning and orientation. New development is encouraged to have a strong relationship to the street, with buildings and entries oriented towards public streets and walkways. Proposals should provide an effective street edge while respecting the established, desired streetscape rhythm. Where possible, parking should be located underground or to the rear of buildings to minimize the impact on streetscape appearance while open space should be useable, attractive and well-integrated with the design of the building.

The *Revitalization Guidelines for Corridors, Villages and Town Centres* (2017) apply to designated Corridors, Villages and Town Centres and are intended to supplement the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* (2012). Again, site planning and orientation are addressed through the Guidelines, which encourage buildings to create "eyes on the street" and public spaces by orienting doorways, windows and balconies to overlook sidewalks, walkways, parks and other open spaces.

## Development Permit Area 15F: Missing Middle and Missing Middle Design Guidelines

The *Official Community Plan* (OCP) also identifies this property within Development Permit Area 15F: Missing Middle Housing. All sites within this DPA are subject to the *Missing Middle Design Guidelines* associated design guidelines applying to all missing middle housing forms. These guidelines are aimed at achieving infill multi-family housing that promotes livability and provides a sensitive transition to adjacent areas. Approaches include:

- locating buildings and parking to maintain the existing pattern of green back yards
- orienting buildings positively towards public streets to support social vitality

- ensuring use of high-quality materials and human scale design features to create visual interest along the street
- minimizing overlook of adjacent homes
- ensuring livability through the provision of useable outdoor amenity spaces
- providing sufficient planting area to support the urban forest.

### Draft Design Guidelines

While not technically applicable prior to adoption, the draft *General Urban Design* guidelines offer further direction on this galley style site configuration. Specifically, the guidelines recommend that where the primary façade faces a side yard, the design should ensure strong engagement with the street through features such as prominent entries, architectural interest, high-quality materials, private outdoor spaces, and landscaping.

The draft design guidelines further prioritize minimizing the visibility of service openings and garage doors from public streets and open spaces. This can be achieved through landscaping strategies such as recessing garage doors, emphasizing pedestrian entrances and adding plantings.

### **Regulatory Considerations**

The site is eligible for multi-family dwellings subject to Schedule P – Mississauga Middle regulations; however, the proposal exceeds the maximum density in the regulations. For this reason, the application is being compared to Schedule P, and a site specific zone would incorporate non-density related differences from the zone as variances. There are a number of differences from the zone that specifically contribute to inconsistencies with the applicable design guidelines.

These variances are as follows:

#### *Setbacks*

- Reduce the minimum front yard setback from 4m to 3.24m (measured to the balcony. Setback to the building is 4.14m)
- Reduce the minimum rear yard setback from 12.84 to 3.74m  
Reduce the maximum distance of the entire building to the street from 30m to 47.61m

#### *Site and Landscape area*

- Increase the maximum site coverage from 40% to 47%
- Reduce the minimum open site space from 45% to 28%
- Reduce the minimum landscape area from 6.5% to 4%
- Increase the maximum fence height from 1.22m to 1.83m

The rear setback and open site space represent significant reductions from what is specified in Schedule P – Mississauga Middle regulations as well as objectives outlined in the design guidelines. The site coverage is a similarly significant increase. Taken together, staff have concerns about the dominance of the driveway area and lack of useable and consolidated open-site space.

While the exact requirements in the proposed draft zone have some differences for the existing zone, they are generally in line with the existing zone and the above aspects would still require variances.

## ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

### Site Planning and Street Relationship

Staff have encouraged the applicant to reconsider the “galley-style” building orientation (residential units sited perpendicular to the street) which results in an in-ward looking development with limited street presence since only one unit has direct access from the street. One alternative solution would be to provide two separate buildings, oriented east-west. Another alternative, working within the proposed galley-style configuration, would be a reduced footprint to allow for greater consolidated and useable greenspace as well as approaches such as strong front entries on the south elevation to create a stronger relationship to the street and improved pedestrian access. Taken together, this would likely require the removal of one unit in order to meet the guidelines.

The amount of space dedicated to vehicular circulation is inconsistent with the design guidelines. Due to the positioning of the building on the lot, the access to each garage creates a large amount of hardscaping. The applicant has attempted to soften the appearance of the drive aisle through planting, and permeable pavers but ultimately the proposed design creates a canyon like effect with little visual interest when viewed from the public street.

The applicant has responded to staff comments and revised the proposal to add architectural interest and improve the relationship of the street facing façade to the street. In addition to the broader issues outlined in the report, staff have further asked the applicant to consider changes to create a more direct and visible entrance to the street facing unit, including lower fencing, front gate and direct pathway to the street.

As noted, the draft *General Urban Design* guidelines offer more consideration for galley-style building orientation. But the proposal does not meet key principles for sites where primary façades face a side yard, which call for strong street engagement through features like prominent entries, outdoor spaces, and landscaping.

Staff invite the Panel to consider alternative site planning approaches and potential improvements to the current galley-style configurations.

### Open Site Space and Site Coverage

Despite the improved street relationship, the proposal still allocates a significant amount of space to vehicular circulation and hardscaped surfaces. Given the setback and open space variances required for the additional density and units, there is minimal useable ground-oriented outdoor space for residents.

Under the draft new OCP, the sites will be designated as a Priority Growth Area for Residential Infill, which supports intensive, primarily residential forms. The draft also notes that all multi-unit building forms should provide adequate open space on the site to support the objectives of the Community and Blue-Green Networks and that open space should generally be focused toward the rear of the site, to support the evolution of perimeter blocks over time.

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 000285 for 2931 & 2937 Shelbourne Street be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 000285 for 2931 & 2937 Shelbourne Street be approved with the following changes:

- as listed by the ADP.

### **Option Three**

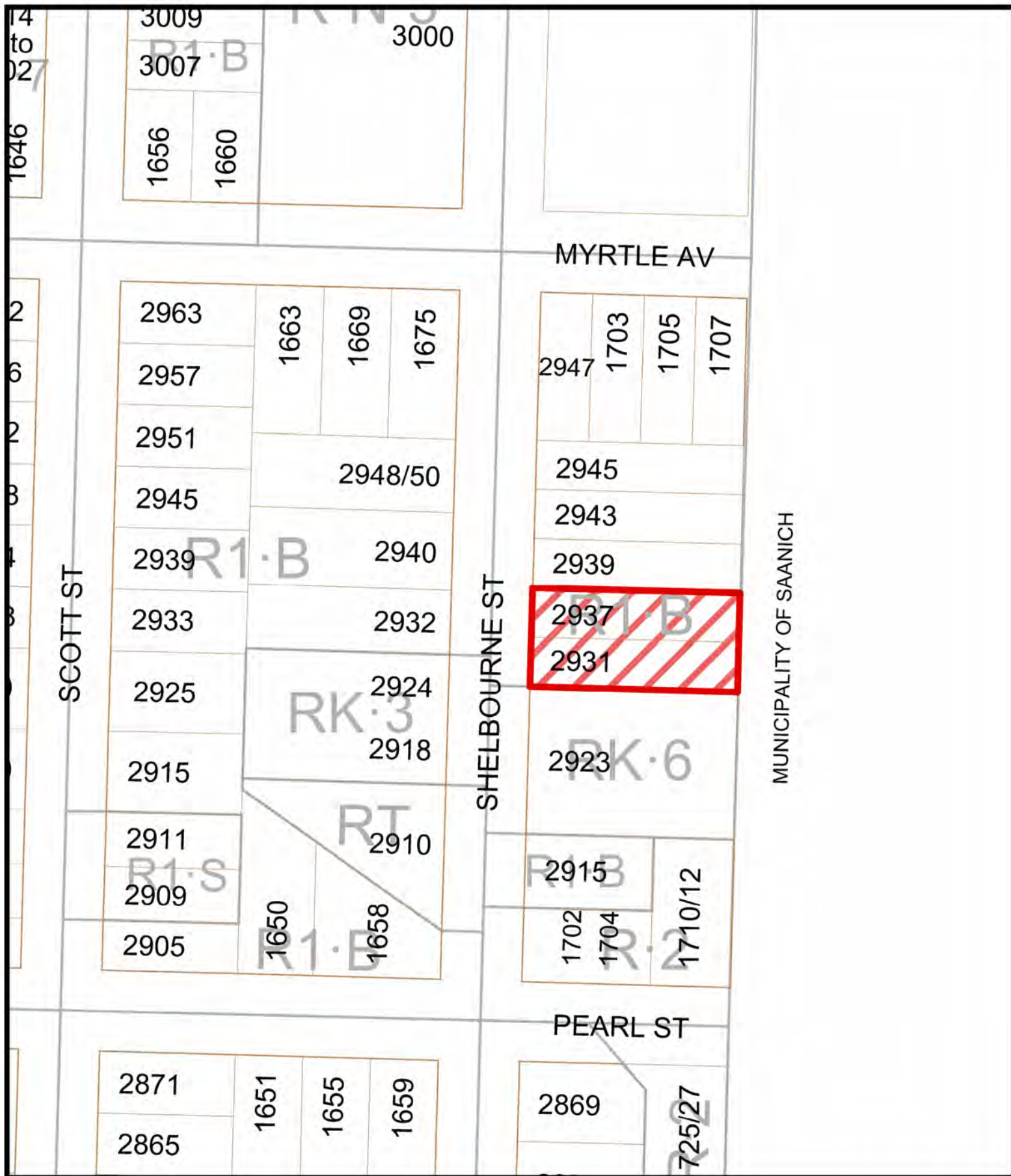
That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 000285 for 2931 & 2937 Shelbourne Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

Attachment A Subject Map  
Attachment B Aerial Map  
Attachment C Plans date stamped April 14, 2025  
Attachment D Applicant's letter dated April 14, 2025.

cc: Matthew Gustavson; Jesse Nguyen, Architect AIBC



2931 and 2937 Shelbourne Street  
Rezoning No.00878





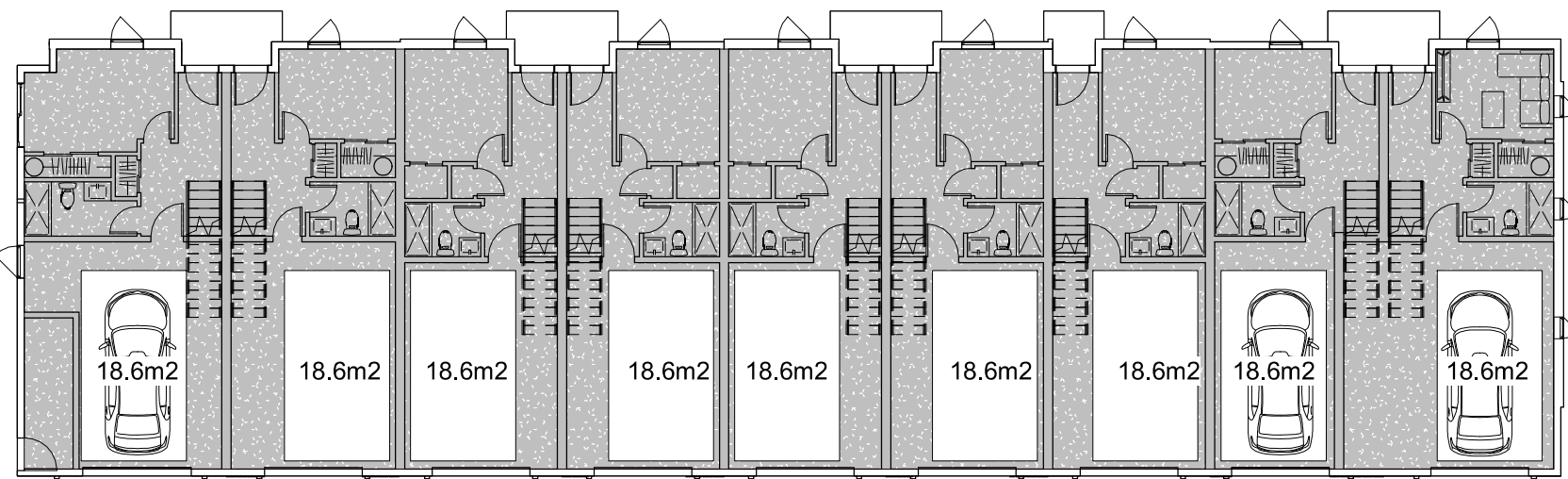
2931 and 2937 Shelbourne Street  
Rezoning No.00878



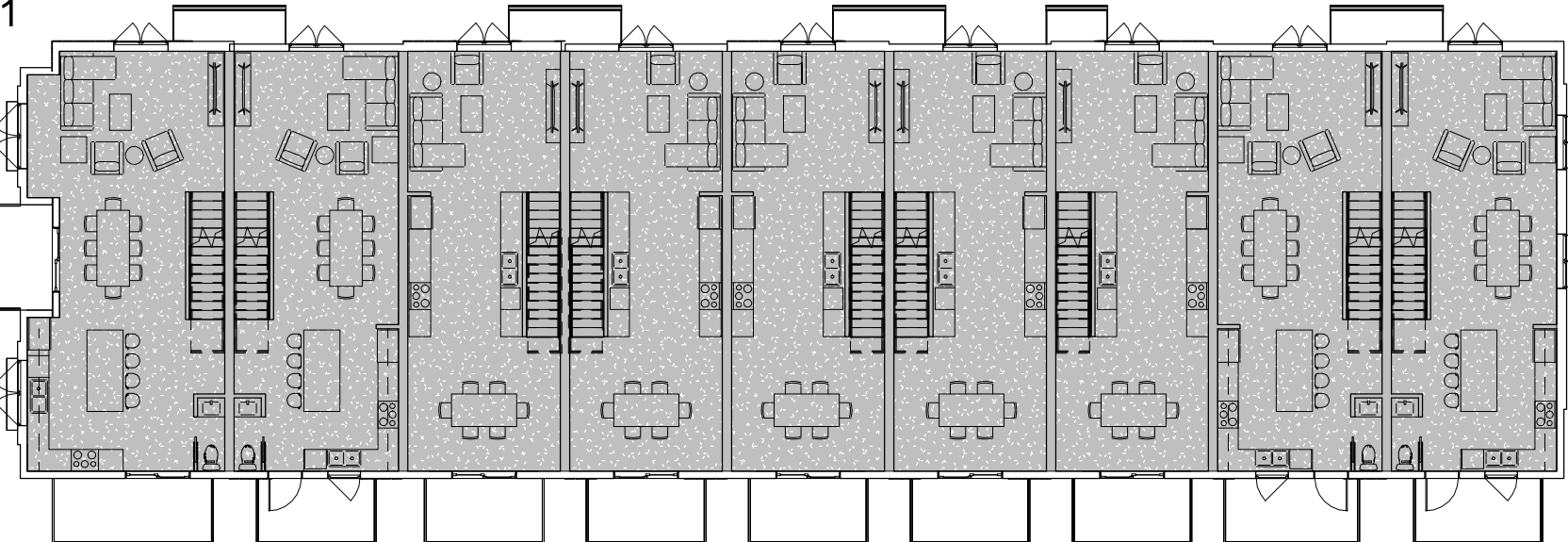
SHELBOURNE MEWS  
ISSUED FOR COMMITTEE OF THE WHOLE MEETING  
ISSUED DATE 2025-03-24



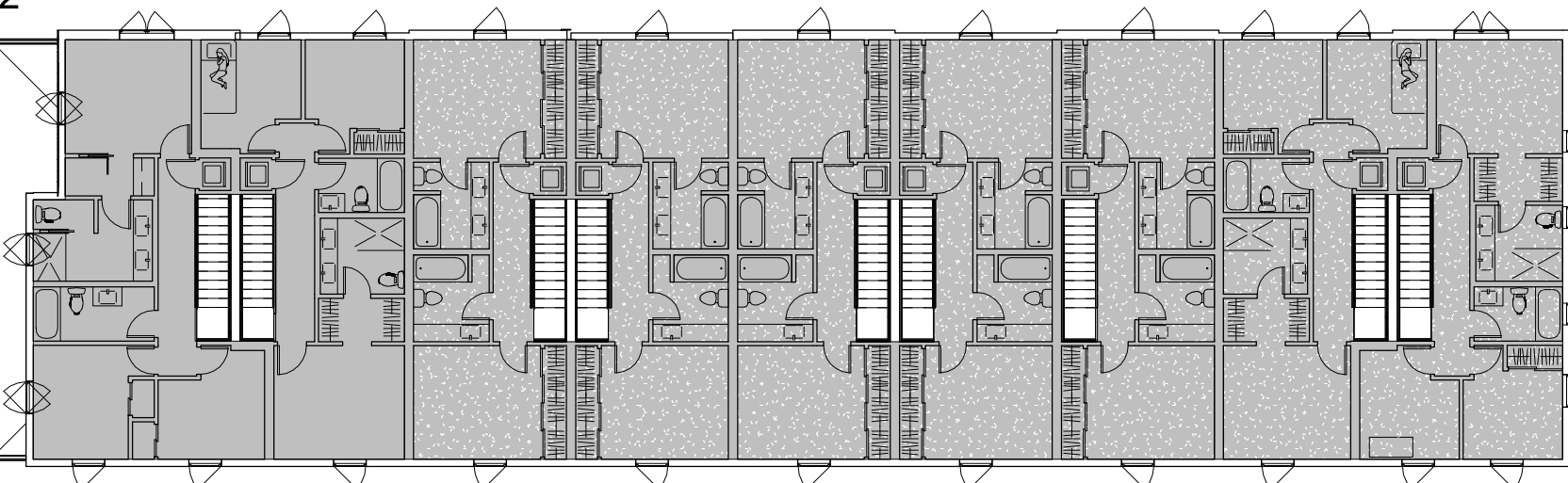
FLOOR AREA CALCULATIONS



LVL 1



LVL 2

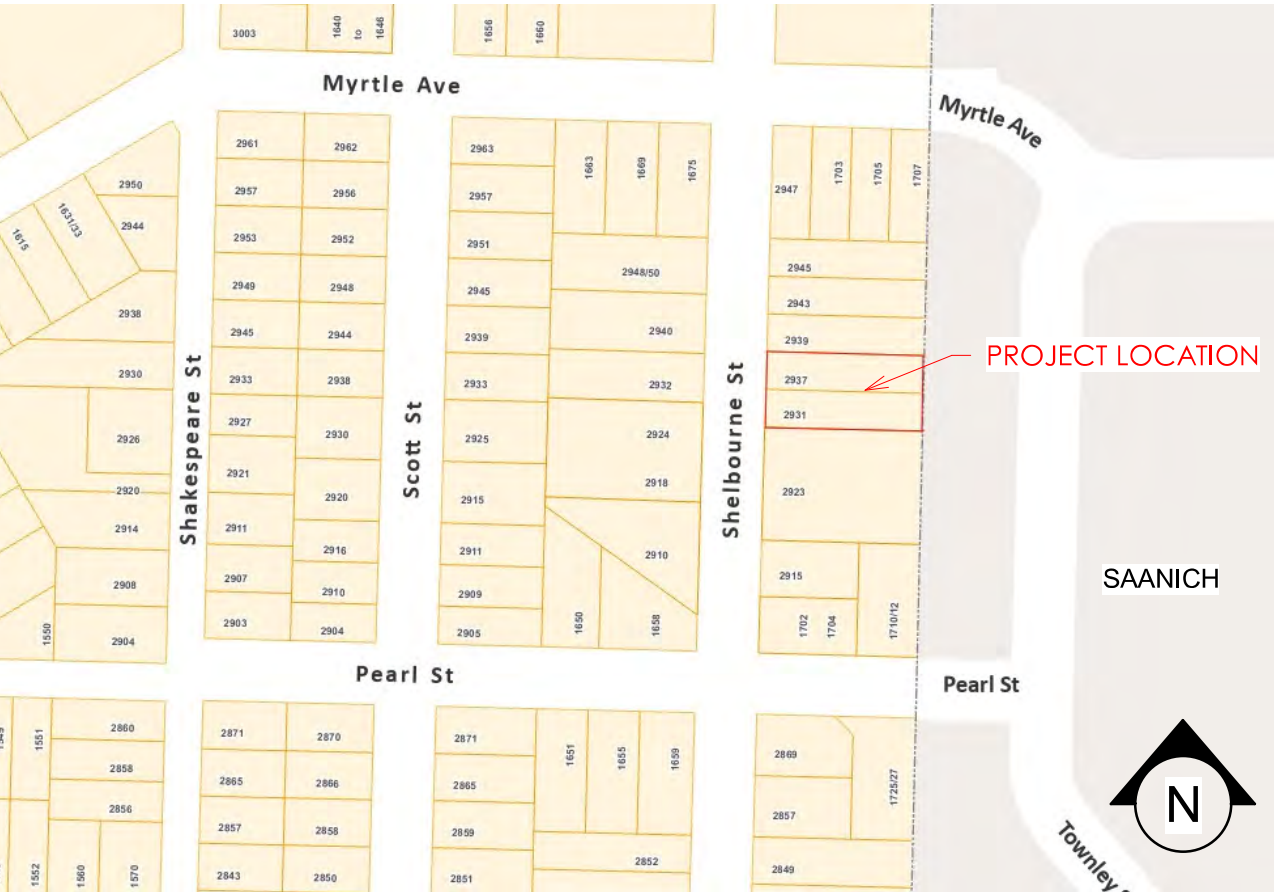


LVL 3

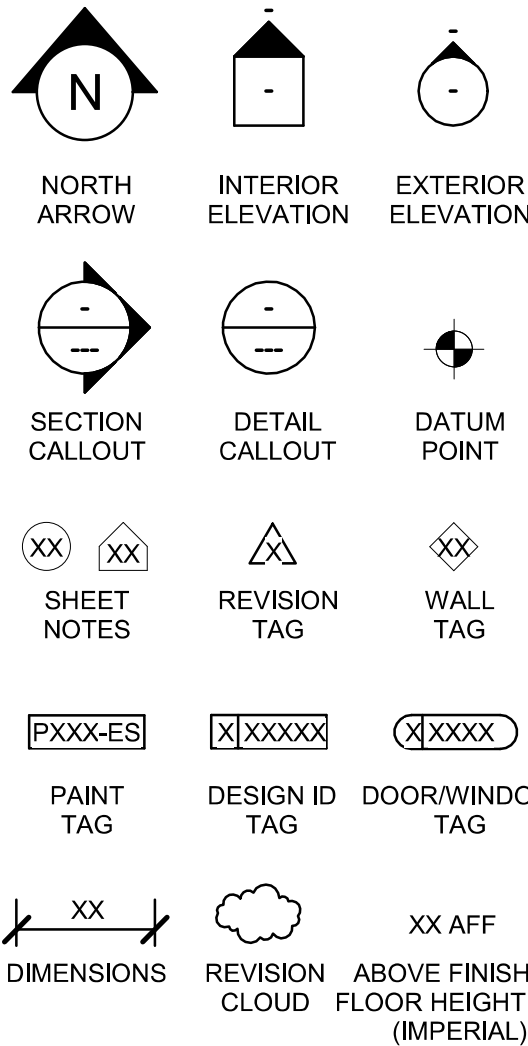
| FLOOR AREA CALCULATION |          |
|------------------------|----------|
| LEVEL 1 FLOOR AREA     | 354.8 m2 |
| LEVEL 2 FLOOR AREA     | 502.9 m2 |
| LEVEL 3 FLOOR AREA     | 463.1 m2 |
| SITE AREA              | 1,254 m2 |
| TOTAL FLOOR AREA       | 1,321 m2 |
| FLOOR SPACE RATIO      | 1.05 :1  |

PROJECT LOCATION

ADDRESS: 2937 & 2931 SHELBOURNE ST, VICTORIA, BC  
LEGAL DESCRIPTION: LOT 8, BLOCK 8, PLAN VIP959, SECTION 8A, VICTORIA LAND DISTRICT  
PID: 008-132-585  
LOT 9, BLOCK 8, PLAN VIP959, SECTION 8A, VICTORIA LAND DISTRICT  
PID: 008-132-615



SYMBOL LEGEND



ABBREVIATIONS

|      |                                        |       |                           |
|------|----------------------------------------|-------|---------------------------|
| A/B  | AIR BARRIER                            | MIN   | MINIMUM                   |
| ADJ  | ADJUSTIBLE                             | MTL   | METAL                     |
| AFF  | ABOVE FINISHED FLOOR                   | O/C   | ON CENTER                 |
| ALUM | ALUMINUM                               | PERF  | PERFORATED                |
| AWM  | AIR/ WEATHER MEMBRANE                  | PREF  | PREFABRICATED             |
| BTM  | BOTTOM                                 | PL    | PROPERTY LINE             |
| B/S  | BOTH SIDES                             | PLYWD | PLYWOOD                   |
| CAB  | CABINET                                | PT    | PRESSURE TREATED R REVEAL |
| CB   | CATCH BASIN                            | RD    | ROOF DRAIN                |
| CL   | CENTRE-LINE                            | REV   | REVERSE                   |
| CLG  | CEILING                                | REQ'D | REQUIRED                  |
| CMU  | CONCRETE MASONRY UNIT                  | RWL   | RAIN WATER LEADER         |
| CONC | CONCRETE                               | SAM   | SELF-ADHERED MEMBRANE     |
| CONT | CONTINUOUS                             | SIM   | SIMILAR                   |
| C/W  | COMPLETE WITH                          | SG    | SAFETY GLASS              |
| DIA  | DIAMETER                               | SS    | STAINLESS STEEL           |
| DIM  | DIMENSION                              | STL   | STEEL                     |
| DN   | DOWN                                   | STRUX | STRUCTURAL                |
| DTL  | DETAIL                                 | TBC   | TO BE CONFIRMED           |
| DW   | DISH-WASHER                            | TBD   | TO BE DETERMINED          |
| DWG  | DRAWING                                | T/O   | TOP OF                    |
| EA   | EACH                                   | TOW   | TOP OF WALL               |
| ELEC | ELECTRICAL                             | TOC   | TOP OF CONCRETE           |
| ELEV | ELEVATION                              | TYP   | TYPICAL                   |
| EL   | GRADE ELEVATION                        | U.N.O | UNLESS NOTED OTHERWISE    |
| EQ   | EQUAL                                  | U/S   | UNDERSIDE                 |
| EX   | EXISTING GRADE                         | VB    | VAPOUR BARRIER            |
| EXT  | EXTERIOR                               | W/    | WITH                      |
| F    | FRIDGE                                 | W/O   | WITHOUT                   |
| FD   | FLOOR DRAIN                            |       |                           |
| GWB  | GYPSUM WALL BOARD                      |       |                           |
| HGT  | HEIGHT                                 |       |                           |
| HWT  | HOT WATER TANK                         |       |                           |
| INT  | INTERIOR                               |       |                           |
| INT  | INTERPOLATED GRADE (ON ELEVATION TAGS) |       |                           |
| MECH | MECHANICAL                             |       |                           |
| MEMB | MEMBRANE                               |       |                           |

SHEET LIST

| Sheet List   |                       |
|--------------|-----------------------|
| Sheet Number | Sheet Name            |
| A001         | PROJECT INFORMATION   |
| A002         | SITE SURVEY           |
| A003         | EXISTING SITE PLAN    |
| A101         | SITE PLAN             |
| A102         | FLOOR PLANS           |
| A103         | FLOOR PLANS           |
| A104         | ROOF PLAN             |
| A201         | ELEVATIONS            |
| A202         | ELEVATIONS            |
| A301         | SECTIONS              |
| A901         | SHADOW STUDY          |
| A902         | STREETSCAPE ELEVATION |
| A903         | RENDERINGS            |
| A904         | RENDERINGS            |
| C1           | SITE SERVICING PLAN   |
| L101         | LANDSCAPING PLAN      |

PROJECT INFORMATION TABLE

| PROJECT INFORMATION TABLE         |                                        |
|-----------------------------------|----------------------------------------|
| ZONINE (EXISTING)                 | R1-B                                   |
| SITE AREA (m2)                    | 1,254 m2                               |
| TOTAL FLOOR AREA                  | 1,321 m2                               |
| COMMERCIAL FLOOR AREA             | 0 m2                                   |
| FLOOR SPACE RATIO                 | 1.05 :1                                |
| SITE COVERAGE                     | 592 m2 47%                             |
| OPEN SITE SPACE                   | 354 m2 28%                             |
| HEIGHT OF BUILDING                | 10.382 m                               |
| NUMBER OF STOREYS                 | 3                                      |
| PARKING STALLS                    | 9+1 VISITOR                            |
| BICYCLE PARKING NUMBER            | 7 SHORT TERM : 18 LONG TERM            |
| BUILDING SETBACKS (m)             |                                        |
| FRONT YARD (WEST)                 | 4.146 m                                |
| FRONT YARD (WEST) BALCONY         | 3.243 m                                |
| INTERIOR SIDE (SOUTH)             | 7.000 m                                |
| INTERIOR SIDE (SOUTH) BALCONY     | 5.165 m                                |
| INTERIOR SIDE (NORTH)             | 5.197 m                                |
| REAR YARD (EAST)                  | 3.780 m                                |
| RESIDENTIAL USE DETAILS           |                                        |
| TOTAL NUMBER OF UNITS             | 9                                      |
| UNIT TYPES                        | FOUR 4-BED 4-BATH<br>FIVE 3-BED 3-BATH |
| UNIT TYPE                         | STRATA UNITS                           |
| GROUND-ORIENTED UNITS             | 9                                      |
| MINIMUM UNIT FLOOR AREA           | 107 m2                                 |
| TOTAL RESIDENTIAL FLOOR AREA (m2) | 1,321 m2                               |

**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE. VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST. SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST. VICTORIA, BC V8T 4NR  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT NAME:  
SHELBOURNE MEWS

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

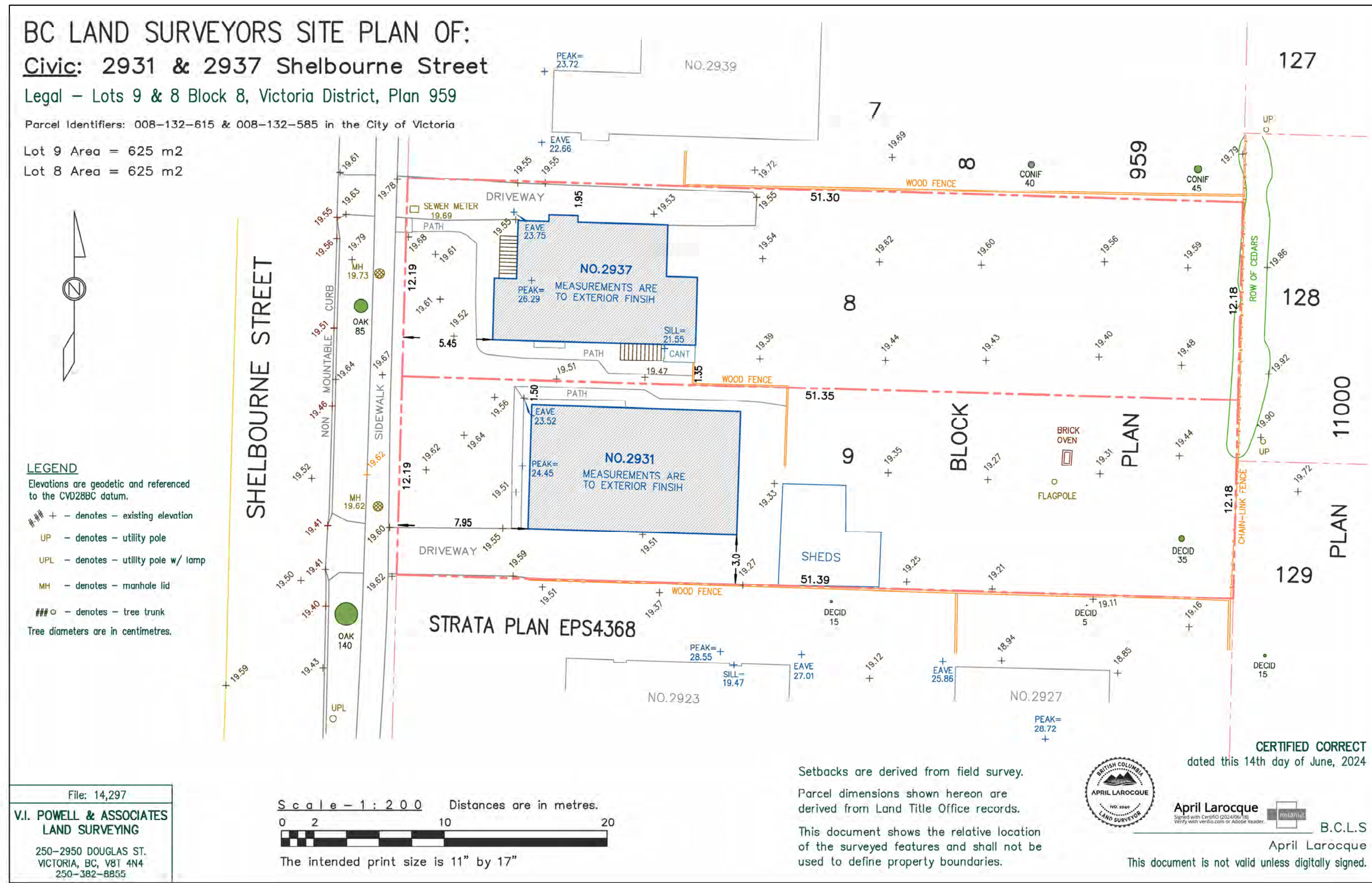
SHEET TITLE:

PROJECT  
INFORMATION

SCALE: As indicated

SHEET NUMBER:

A001



**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE, VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST, SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT NAME: **SHELBOURNE MEWS**

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:

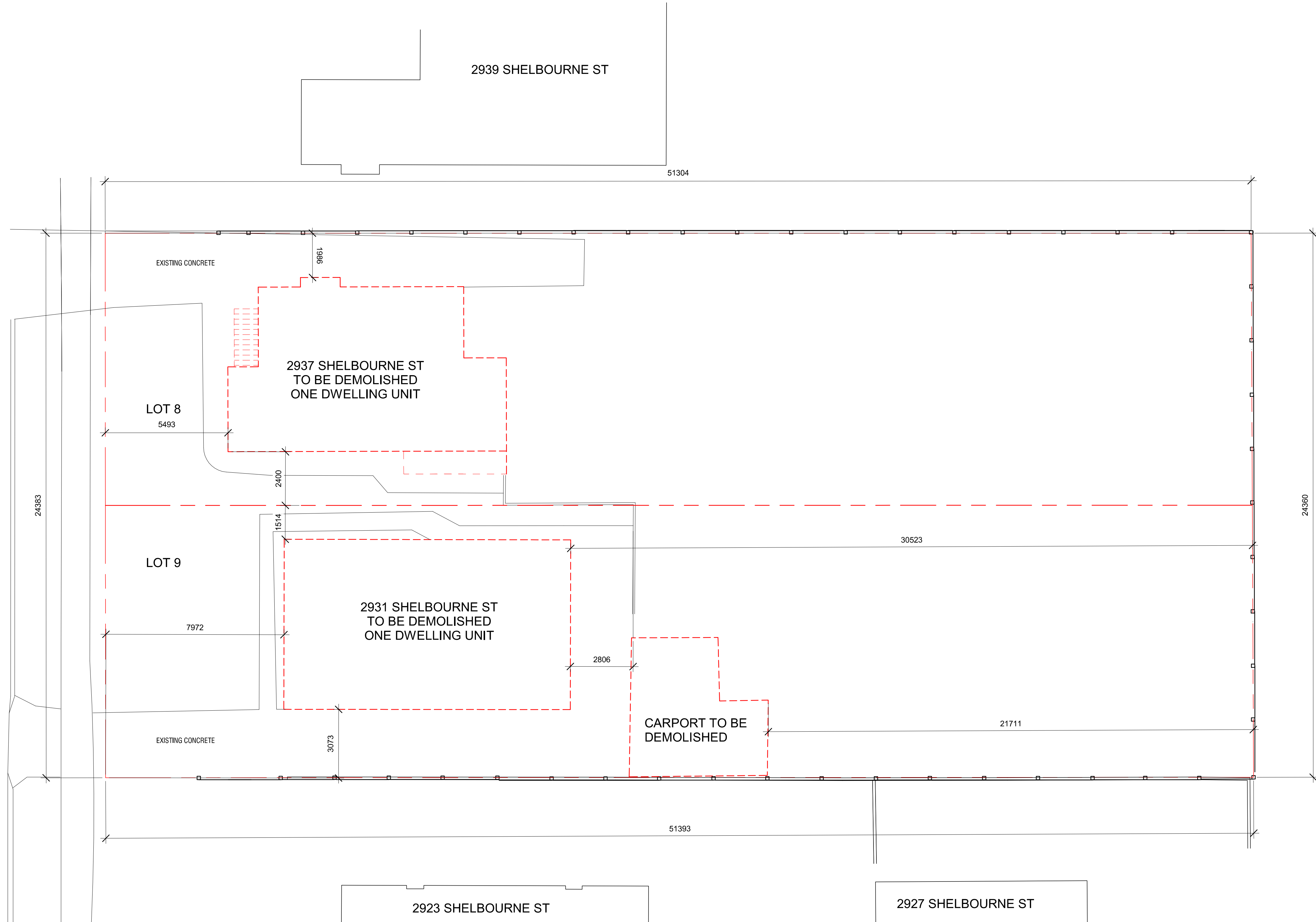
SITE SURVEY |

SCALE:

SHEET NUMBER:

A002

20



1

1 : 100

51304

LOT 8

LOT 9

# CARPORT TO BE DEMOLISHED

2927 SHELBOURNE ST

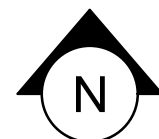
**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N1  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

|            |  |  |  |
|------------|--|--|--|
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
| (YY/MM/DD) |  |  |  |

SCALE: 1 : 100

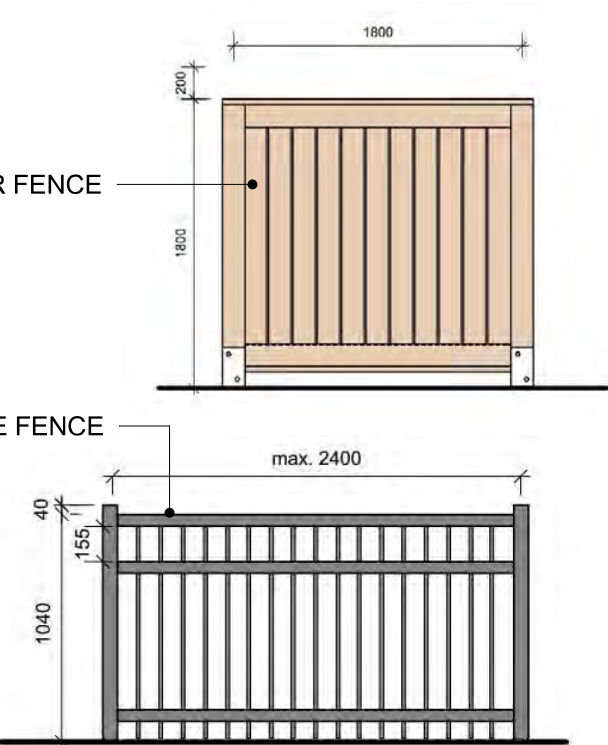


A003

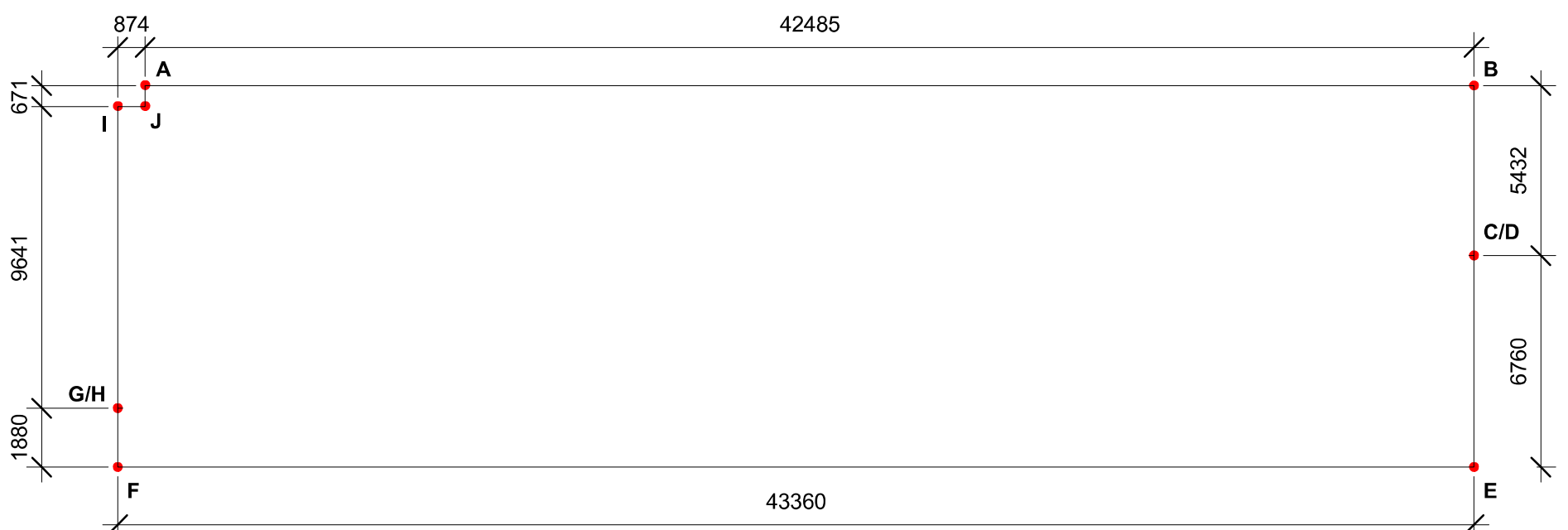


1. VISITOR BIKE PARKING. 5 STALLS. OUTLET ON BUILDING CORNER FOR EBKE CHARGING.
2. COMMUNAL MAILBOXES.
3. GARAGE, RECYCLING, COMPOST BINS STORED IN UNIT GARAGES.
4. EXISTING CEDAR FENCE TO REMAIN.
5. ADD LATTICEWORK TO TOP OF EXISTING CEDAR FENCE. 6' HIGH PANELS. REFER TO LANDSCAPING PLANS.
6. EXTEND EXISTING CEDAR FENCE WITH LATTICEWORK. 6' HIGH PANELS
7. ROW OF CEDAR HEDGES AND ROWING FENCE TO REMAIN.
8. BOLLARD.
9. REFER TO ARBORIST'S REPORT AND TREE MANAGEMENT SITE PLAN FOR ALL TREES TO BE RETAINED AND ADDED.
10. EXISTING TREES TO REMAIN. REFER TO TREE MANAGEMENT SITE PLAN.
11. REFER TO CIVIL SITE SERVICING PLAN FOR LOCATIONS AND INFORMATION OF ALL UTILITIES.
12. ROADFRONT IMPROVEMENTS TBD CIVIL ENGINEER AND CITY OF VICTORIA ENGINEERING DEPARTMENT.
13. REFER TO L101 LANDSCAPE PLAN FOR ALL LANDSCAPING.
14. DRAIN.
15. BALCONY ABOVE.
16. SUGGESTED PMT LOCATION. TBD BC HYDRO.
17. MULTI USE SPORTS COURT. PAINTED LINES AND HOOKS FOR NETS

## METAL DECROTIVE FENCE



| GRADE POINTS                                     | GRADE POINTS        | Avg. OF POINTS    | DISTANCE BETWEEN GRADE POINTS | TOTALS          |
|--------------------------------------------------|---------------------|-------------------|-------------------------------|-----------------|
| GRADE POINT A: 19.50m                            | GRADE POINTS A & B: | (19.50 + 19.50)/2 | x 4.26                        | = 827.97        |
| GRADE POINT B: 19.50m                            | GRADE POINTS B & C: | (19.50 + 19.50)/2 | x 5.43                        | = 105.89        |
| GRADE POINT C: 19.50m                            | GRADE POINTS C & D: | (19.50 + 19.68)/2 | x 6.78                        | = 135.04        |
| GRADE POINT D: 19.68m                            | GRADE POINTS D & E: | (19.68 + 19.68)/2 | x 4.36                        | = 853.32        |
| GRADE POINT E: 19.68m                            | GRADE POINTS E & F: | (19.68 + 19.68)/2 | x 1.88                        | = 37.00         |
| GRADE POINT F: 19.68m                            | GRADE POINTS F & G: | (19.68 + 19.50)/2 | x 9.64                        | = 187.98        |
| GRADE POINT G: 19.68m                            | GRADE POINTS G & H: | (19.50 + 19.50)/2 | x 0.67                        | = 19.50         |
| GRADE POINT H: 19.49m                            | GRADE POINTS H & I: | (19.50 + 19.50)/2 | x 0.67                        | = 13.07         |
| GRADE POINT I: 19.48m                            |                     |                   |                               |                 |
| GRADE POINT J: 19.50m                            |                     |                   |                               |                 |
| <b>TOTALS</b>                                    |                     |                   | <b>111.07</b>                 | <b>2,175.25</b> |
| <b>AVERAGE GRADE: 2,175.25 / 111.07 = 19.58m</b> |                     |                   |                               |                 |



PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:

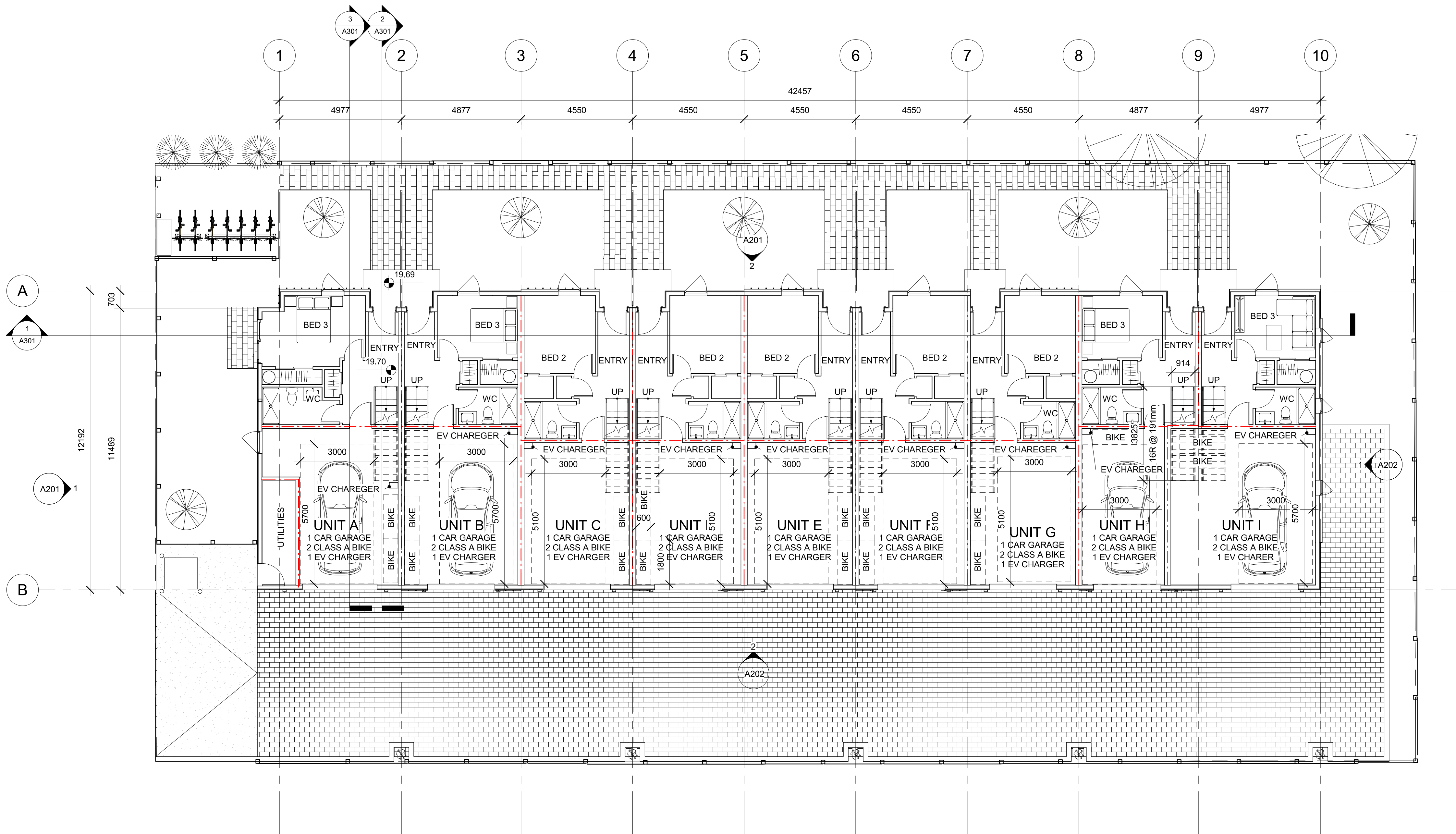
## SITE PLAN

SCALE:

As indicated

A101

2025-03-24 1:52:12 PM



1 LEVEL 1 FLOOR PLAN  
1 : 100

FLOOR PLAN LEGEND  
1 HOUR FIRE SEPARATION

**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE, VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST, SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



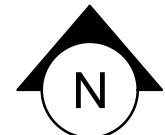
PROJECT NAME:  
SHELBOURNE MEWS

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:  
FLOOR PLANS

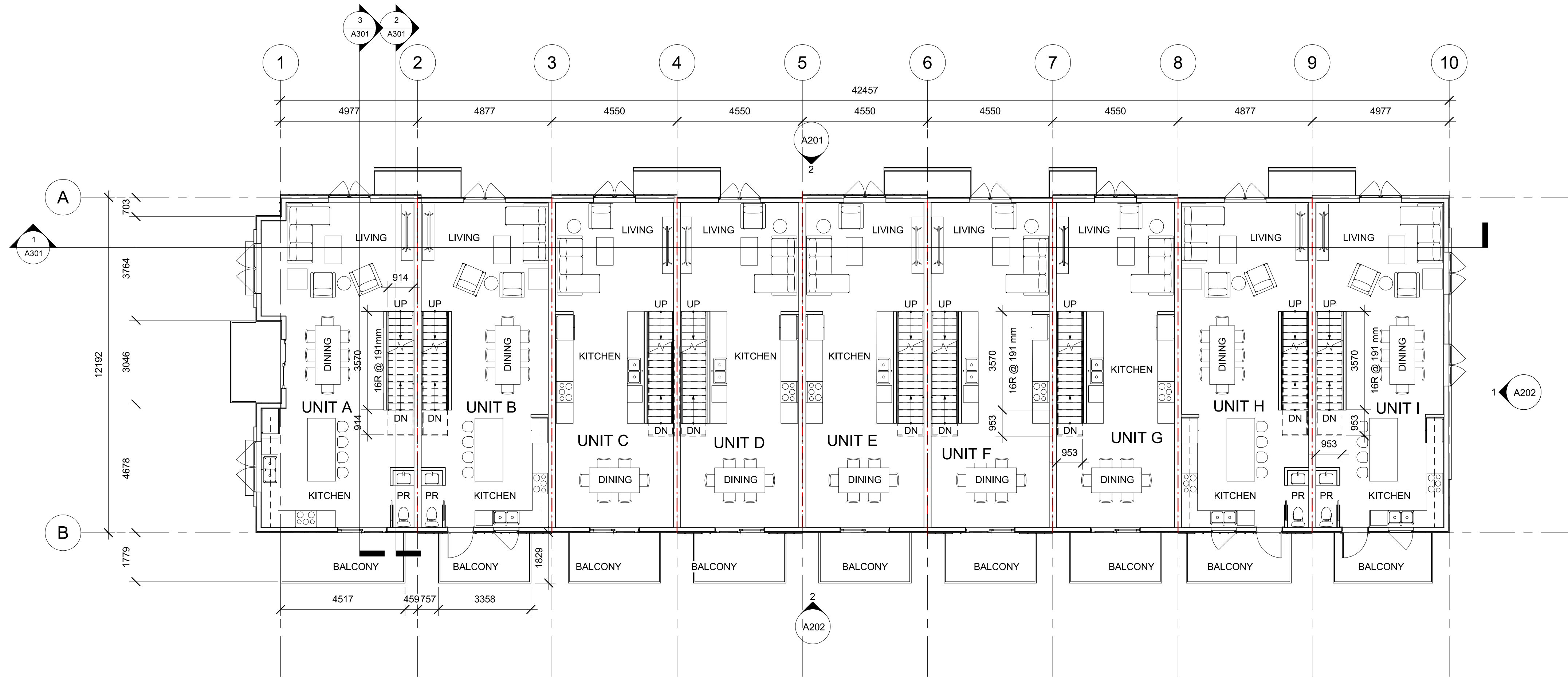
SCALE: 1 : 100



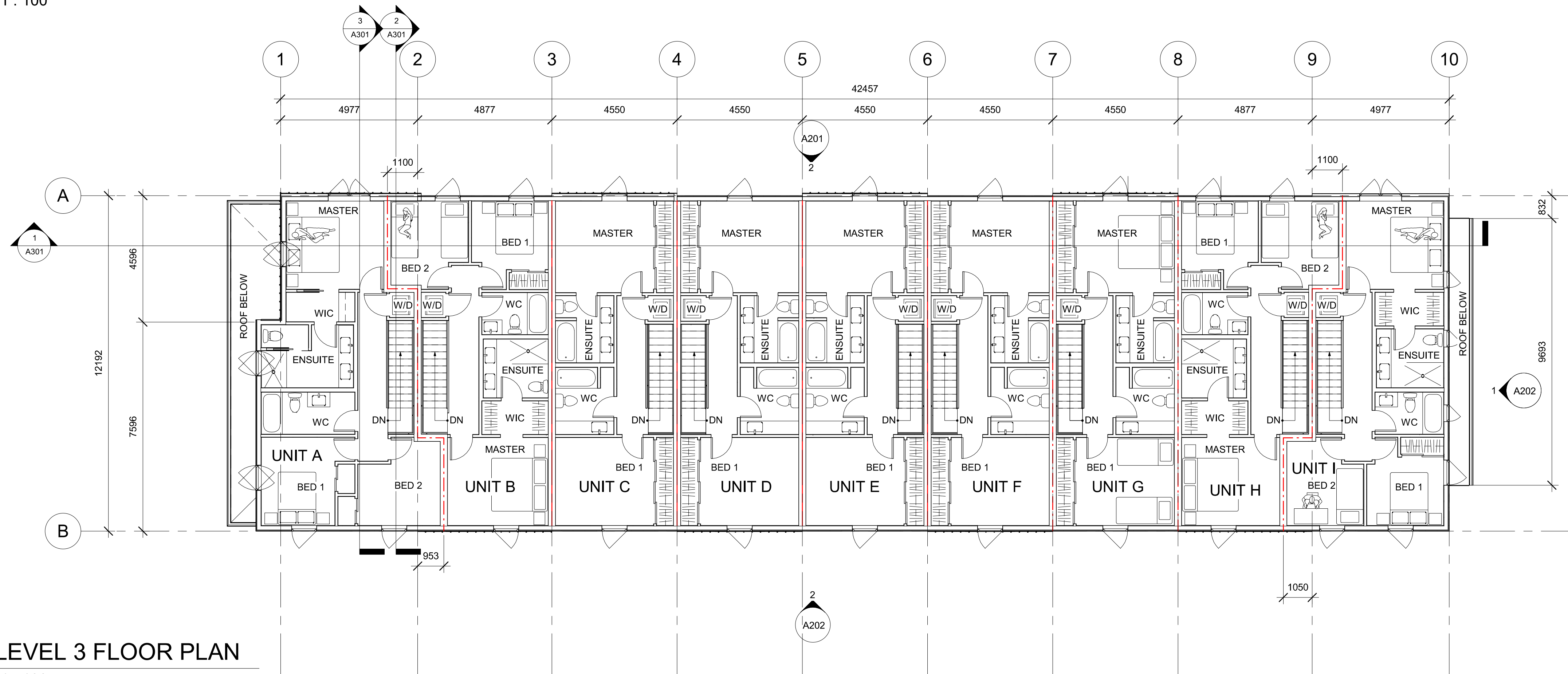
SHEET NUMBER:  
A102

2025-03-24 1:52:17 PM

1 LEVEL 2 FLOOR PLAN  
1 : 100



2 LEVEL 3 FLOOR PLAN  
1 : 100



FLOOR PLAN LEGEND

1 HOUR FIRE SEPARATION

**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE, VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST, SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT NAME:  
SHELBOURNE MEWS

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

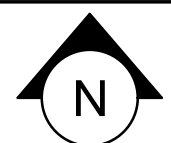
| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:

FLOOR PLANS

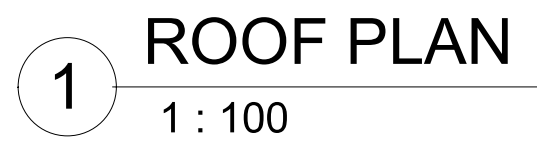
SCALE:

1 : 100



SHEET NUMBER:

A103



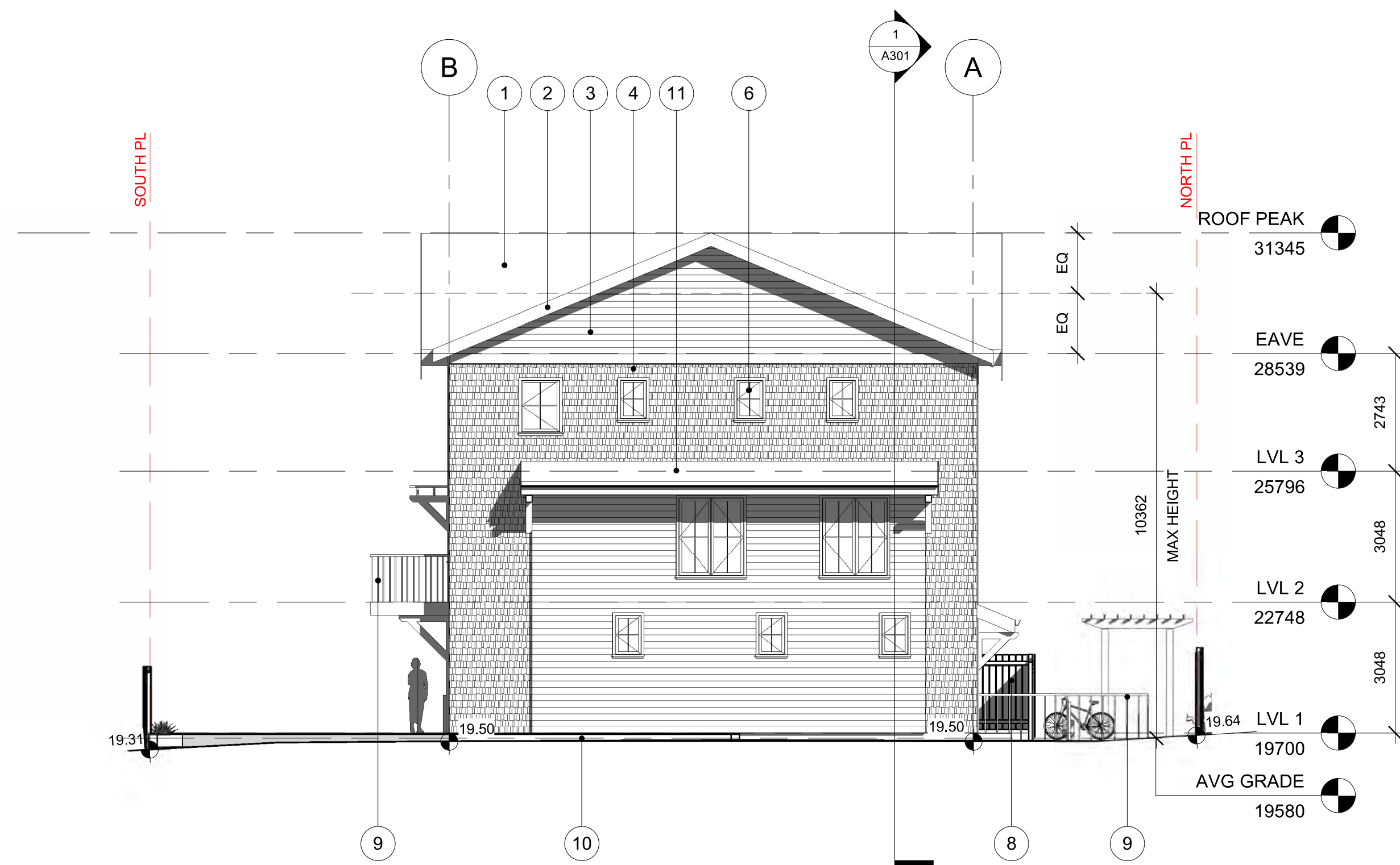
| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

|            |  |  |  |
|------------|--|--|--|
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
| (YY/MM/DD) |  |  |  |

SCALE: 1 : 100

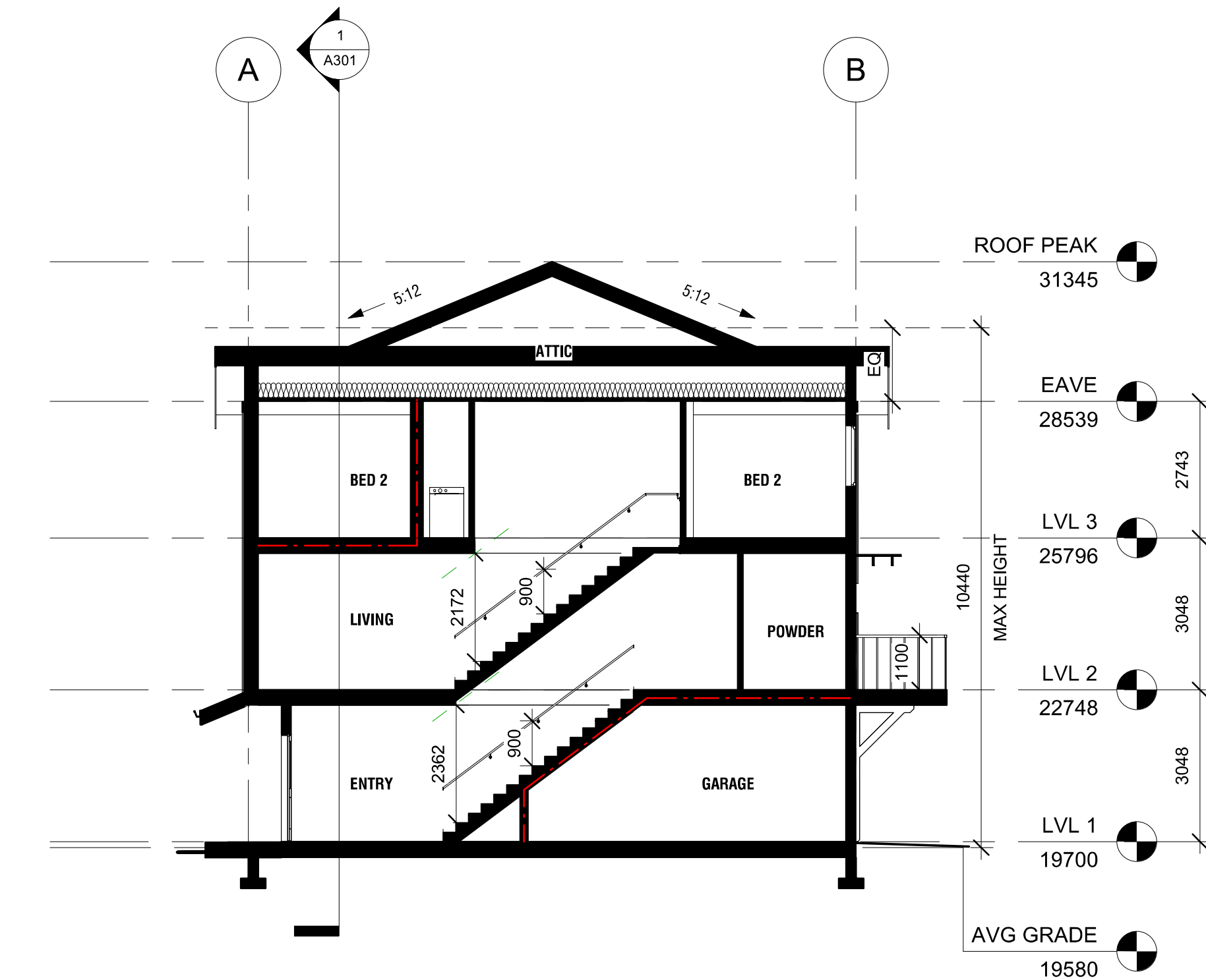

 SHEET NUMBER:  
**A104**



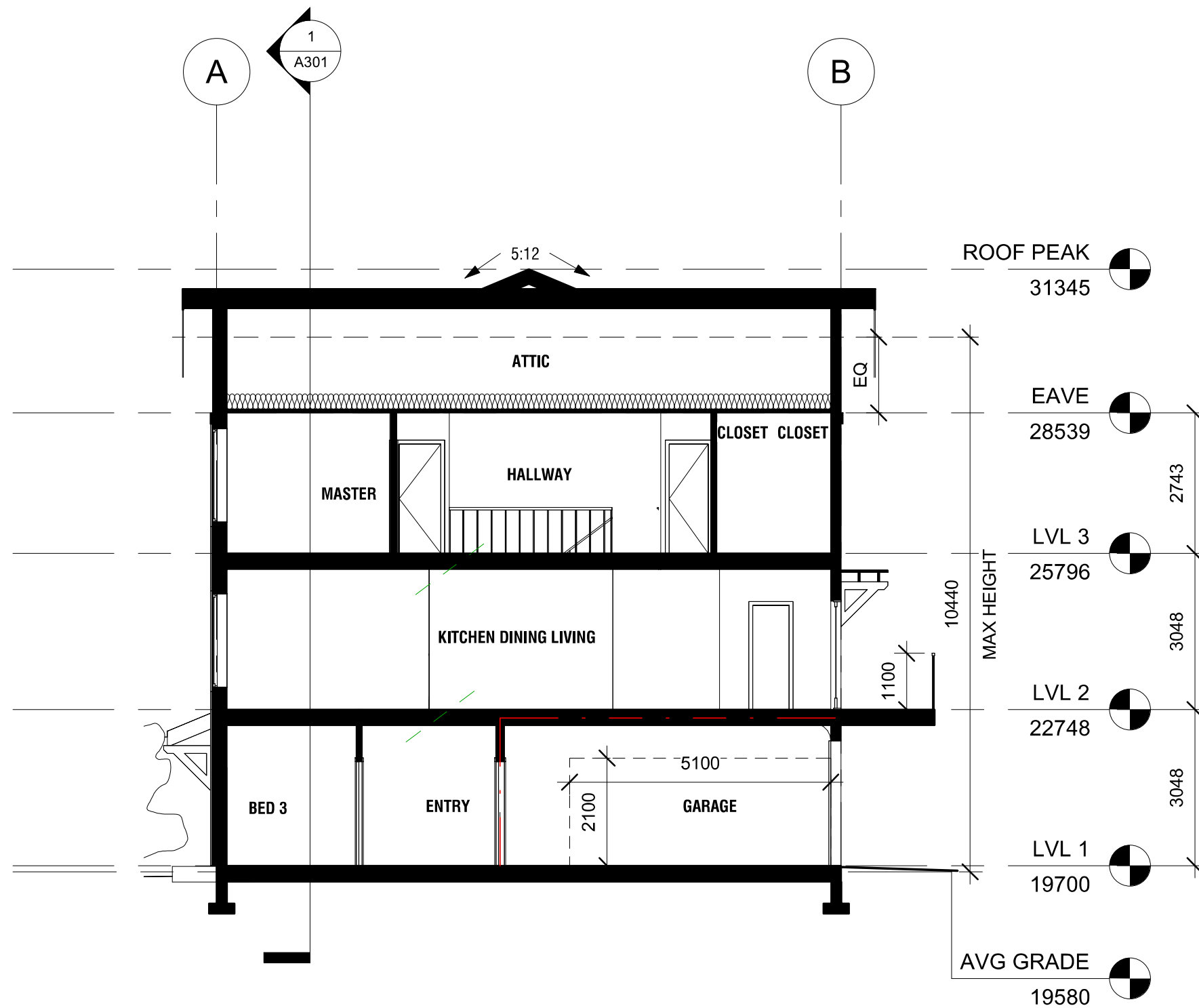




1 E-W SECTION  
1 : 100



2 N-S SECTION  
1 : 100



3 N-S SECTION #2  
1 : 100

**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE, VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST, SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT NAME:  
**SHELBOURNE MEWS**

PROJECT ADDRESS:  
**2931 & 2937 SHELBOURNE ST**

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:  
**SECTIONS**

SCALE: 1 : 100

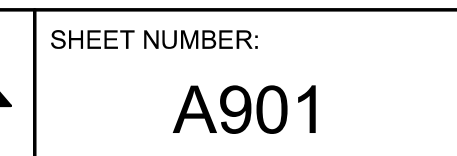
SHEET NUMBER:  
**A301**

An aerial photograph of the proposed development site, which is a triangular plot bounded by Shelbourne Street to the west and a residential street to the south. The site is outlined in red. A large, dark grey building footprint is shown on the site, with a red rectangle highlighting a specific section of the building. The surrounding area includes existing buildings, parking spaces, and a residential street with houses. The street name 'SHELBOURNE ST' is visible on the left side of the image.

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| <b>ISSUE SCHEDULE</b> |             |           |                        |
|-----------------------|-------------|-----------|------------------------|
| <b>#</b>              | <b>DATE</b> | <b>BY</b> | <b>DESCRIPTION</b>     |
| 1                     | 24/10/25    | LG        | ISSUED FOR CALUC       |
| 2                     | 24/11/26    | LG        | ISSUED DP & REZONING   |
| 3                     | 25/03/24    | LG        | COMMITTEE OF THE WHOLE |
|                       |             |           |                        |
|                       |             |           |                        |
|                       |             |           |                        |
|                       |             |           |                        |
|                       | (YY/MM/DD)  |           |                        |

SCALE: 1 : 1000



2025-03-24 1:53:57 PM

THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM GUSTAVSON CAPITAL CORP. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTILL IT HAS BEEN ISSUED FOR CONSTRUCTION. THE GENERAL CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO GUSTAVSON CAPITAL CORP. DO NOT SCALE

PROPOSED

EXISTING

2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:

STREETSCAPE  
ELEVATION

SCALE:

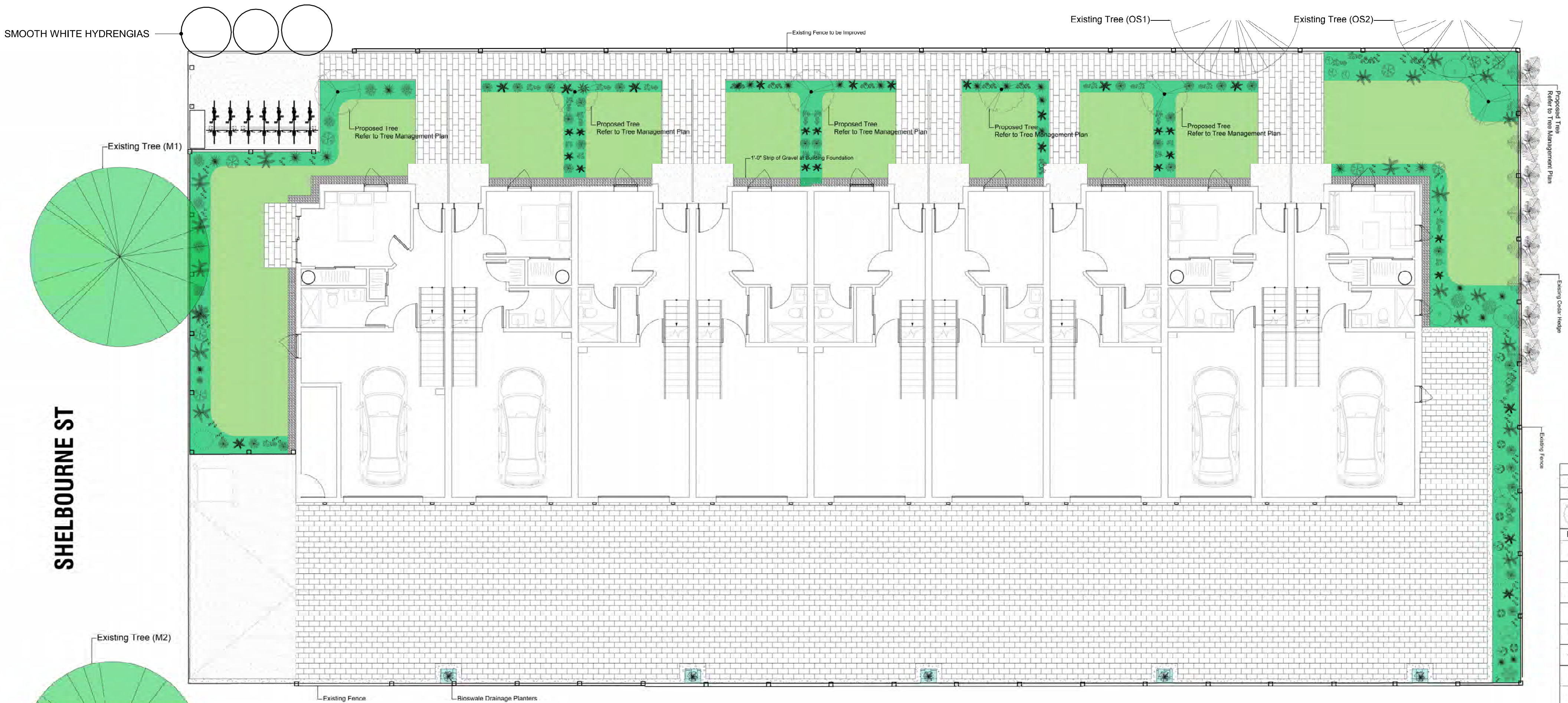
100

SHEET NUMBER:

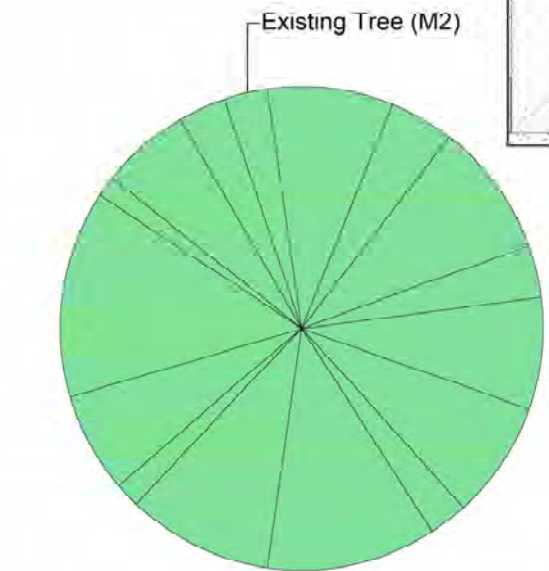
A902

2025-03-24 1:54:35 PM

REFER TO ARBORISTS REPORT AND TREE MANAGEMENT PLAN FOR ALL TREE PLANTING INFORMATION AND TREE PROTECTION MEASURES



SHELBOURNE ST



Pacific Dogwood



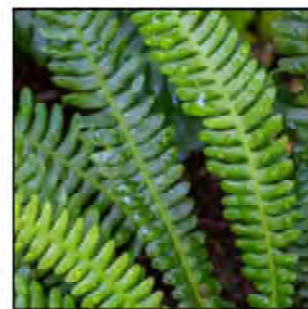
Hino White Azalea



Dwarf Sweetbox



Western Sword Fern



Deer Fern



Bunchberry



California Lilac



Boston Ivy VINE



Coneflower



Smooth Azalea



Creeping Thyme



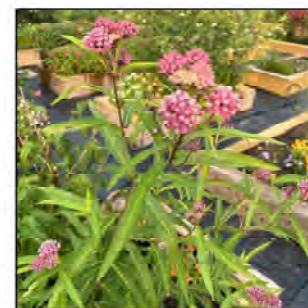
Sedge



Hostas



Hellebore



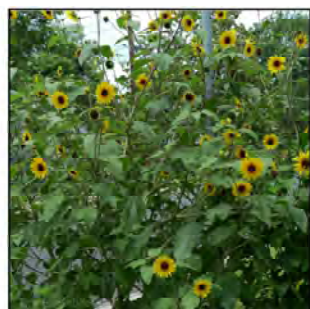
Swamp Milkweed



Cardinal Flower



Purple Coneflower



Swamp Sunflower



Red Osier Dogwood



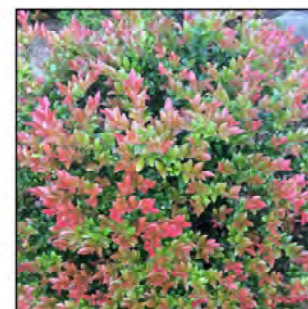
Douglas Spirea



Pacific Wax Myrtle



Pacific Ninebark



Evergreen Huckleberry

## LEGEND

|                          |       |
|--------------------------|-------|
| PROPERTY LINE            | ----- |
| WOOD FENCE 6'-0"         | ----- |
| DECORATIVE FENCE 3'-6"   | ----- |
| PROPOSED GRASS           | ----- |
| PROPOSED PLANTING AREA'S | ----- |
| PAVERS DRIVEWAY          | ----- |
| CONCRETE- BROOM FINISH   | ----- |
| BIKE RACK                | ----- |
| EXISTING TREES           | ----- |
| PROPOSED TREES           | ----- |

| PLANT & TREE SCHEDULE |                             |                             |           |          |                        |                        |                |            |          |
|-----------------------|-----------------------------|-----------------------------|-----------|----------|------------------------|------------------------|----------------|------------|----------|
| KEY                   | COMMON NAME                 | SCIENTIFIC NAME             | CONTAINER | SPACING  | HEIGHT AT MATURITY (m) | SPREAD AT MATURITY (m) | NATIVE SPECIES | POLLINATOR | QUANTITY |
| -----                 | Pacific Dogwood             | Cornus Nuttallii            | Low       | As Shown | 12 - 20 m              | 8 m                    | ---            | ---        | 6        |
| TREE SCHEDULE:        |                             |                             |           |          |                        |                        |                |            |          |
| -----                 | Hino White Azalea           | Rhododendron 'Hino White'   | 2 Gallon  | As Shown | 1.5                    | 3.5                    | x              | ---        | 5        |
| -----                 | Dwarf Sweetbox              | Sarcococca Humilis          | 2 Gallon  | As Shown | 2 - 3                  | 2                      | x              | ---        | 3        |
| -----                 | Western Sword Fern          | Polytaichum Munium          | 1 Gallon  | As Shown | 0.6 - 12               | 0.6 - 12               | x              | ---        | 21       |
| -----                 | Bunchberry                  | Cornus Canadensis           | Flat      | As Shown | 0.2                    | 0.3                    | x              | ---        | 34       |
| -----                 | California Lilac            | Ceanothus 'Victoria'        | 3 Gallon  | As Shown | 2                      | 2                      | ---            | x          | 2        |
| -----                 | Boston Ivy                  | Parthenocissus Tricuspidata | 1 Gallon  | As Shown | 15                     | 3                      | ---            | x          | 15       |
| -----                 | Coneflower                  | Echinacea                   | 1 Gallon  | As Shown | 1                      | 0.3                    | x              | ---        | 8        |
| -----                 | Smooth Azalea               | Rhododendron Arboreum       | 1 Gallon  | As Shown | 3 - 6                  | 1 - 2                  | x              | ---        | 8        |
| -----                 | Creeping Thyme              | Thymus Serpyllum            | 2 Gallon  | As Shown | 1.8 - 3.6              | 0.3                    | ---            | x          | 10       |
| -----                 | Sedge                       | Cyperaceae                  | Moderate  | As Shown | 0.5 - 1.0              | 0.9                    | x              | ---        | 27       |
| -----                 | Hostas                      | Plantain Lilies             | Low       | As Shown | 1                      | 0.6                    | ---            | x          | 29       |
| -----                 | Hellebore                   | Helleborus                  | Moderate  | As Shown | 0.4                    | 0.2                    | x              | ---        | 27       |
| -----                 | Swamp Milkweed              | Asclepias Incarnata         | Moderate  | As Shown | 0.6 - 1.2              | 1.5                    | x              | ---        | 4        |
| -----                 | Cardinal Flower             | Lobelia Cardinalis          | 1 Gallon  | As Shown | 1.5                    | 0.6                    | ---            | x          | 8        |
| -----                 | Purple Coneflower           | Echinacea Purpurea          | Low       | As Shown | 0.6                    | 1.5                    | ---            | x          | 5        |
| -----                 | Red Osier Dogwood           | Cornus Sericea              | Moderate  | As Shown | 1.5 - 4                | 3 - 5                  | x              | ---        | 4        |
| -----                 | Pacific Wax Myrtle          | Myrica Californica          | 1 Gallon  | As Shown | 3 - 9.1                | 3 - 9.1                | ---            | x          | 2        |
| -----                 | Pacific Ninebark            | Physocarpus Capatus         | Moderate  | As Shown | 2.4 - 3.6              | 2.5                    | ---            | x          | 1        |
| -----                 | Evergreen Huckleberry       | Vaccinium Ovatum            | Moderate  | As Shown | 0.5 - 3                | 0.9 - 3.0              | ---            | x          | 7        |
| -----                 | Landscaping Medium Builders | ---                         | ---       | As Shown | ---                    | ---                    | ---            | ---        | As Shown |

NOTES:  
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

**OWNER**  
GUSTAVSON CAPITAL CORPORATOIN  
2233 THEATRE LN, VICTORIA, BC V8R 6T1  
MGUSTAVSON@GUSTAVSONCAPITAL.CA  
250 415 3082

**ARCHITECT**  
JESSE NGUYEN ARCHITECTURE  
107-1771 East 18th Avenue, VANCOUVER, BC V5N 0H1  
jesse@jessenguyen.com  
(604) 353-6650

**CIVIL ENGINEER**  
KYLE ENGINEERING  
#1 - 40 CADALLAC AVE, VICTORIA, BC V8Z 1T2  
EKYLE@EKENG.CA  
250 475 6906

**ARBORIST**  
SCOTTY TREE AND ARBORIST  
#7 - 10075 FIFTH ST, SIDNEY, BC V8L 2X8  
SCOTTYTREE@ICLOUD.COM  
250 220 9298

**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



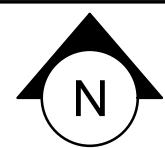
PROJECT NAME:  
SHELBOURNE MEWS

PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

| ISSUE SCHEDULE |          |    |                        |
|----------------|----------|----|------------------------|
| #              | DATE     | BY | DESCRIPTION            |
| 1              | 24/10/25 | LG | ISSUED FOR CALUC       |
| 2              | 24/11/26 | LG | ISSUED DP & REZONING   |
| 3              | 25/03/24 | LG | COMMITTEE OF THE WHOLE |

SHEET TITLE:  
LANDSCAPING PLAN

SCALE:



SHEET NUMBER:  
L101



**SURVEYOR**  
V.I. POWELL & ASSOCIATES LAND SURVEYING  
#250 - 2950 DOUGLAS ST, VICTORIA, BC V8T 4N9  
APRIL@POWELLSURVEYS.COM  
250 382 8855



PROJECT ADDRESS:  
2931 & 2937 SHELBOURNE ST

|            |  |  |  |
|------------|--|--|--|
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
|            |  |  |  |
| (YY/MM/DD) |  |  |  |

A903



THE CITY OF VICTORIA - January 28, 2025 / U:\CS\1400 Customer Files\2024\CV Civil\CV24-27 Shelbourne - Gustavsen\03 EN-CN\040 Internal Drawings\00 Current\CV24-27 250128 Services Plan.dwg

DETAILED CONSTRUCTION NOTES:

- NEW 38mm WATER CONNECTION AND METER BY CoV AT APPLICANTS EXPENSE.
- 150mm PVC SEWER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE.
- 150mm PVC STORM WATER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE.
- PROPOSED 6.0m WIDE DRIVEWAY (FLARES AT ROAD EDGE TO BE 1.0m X 1.0m) AS PER CoV STANDARDS
- EXISTING STORM CONNECTIONS TO BE CAPPED BY CoV AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTIONS TO BE CAPPED BY CoV AT APPLICANTS EXPENSE.
- EXISTING WATER CONNECTIONS TO BE DECOMMISSIONED BY CoV AT APPLICANTS EXPENSE.
- EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED FOR DRIVEWAY DROP TO CoV STANDARDS. 1.0m WIDE SAW CUT AND ASPHALT MEDIATION TO CURB FACE.
- REPLACE EXISTING SIDEWALK WITH NEW 2.0m SIDEWALK AS SHOWN. DETAILS, IN ACCORDANCE WITH STD DRG SD C7c. BRODM FINISHED
- PROPOSED ELECTRICAL, TELECOM BY THIRD PARTY UTILITIES.
- PROPOSED GAS BY THIRD PARTY UTILITIES.

ENVIRONMENTAL NOTES:

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
  - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
  - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
  - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
  - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
  - COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
  - STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
  - PLACE DRAIN ROCK AND FILET FABRIC AT THE INLET OF CULVERT.
  - SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
  - INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON PLAN.

GENERAL CONSTRUCTION NOTES:

- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
- ENSURE THE CURRENT MUNICIPAL O.H.A.S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.

GENERAL NOTES:

**DRAWING INFORMATION**  
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:200 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT. AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY. ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

**GENERAL REQUIREMENTS**  
REFER TO HOEL ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO VICTORIA STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

**USE OF INFORMATION**  
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF HOEL ENGINEERING LTD AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

**COORDINATION REQUIREMENTS**  
**COMMUNICATION AND REPORTING**  
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. **1-800-474-6886**

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK.

**PERMITS**  
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT **1-877-599-0996**

**NOTIFICATION**  
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

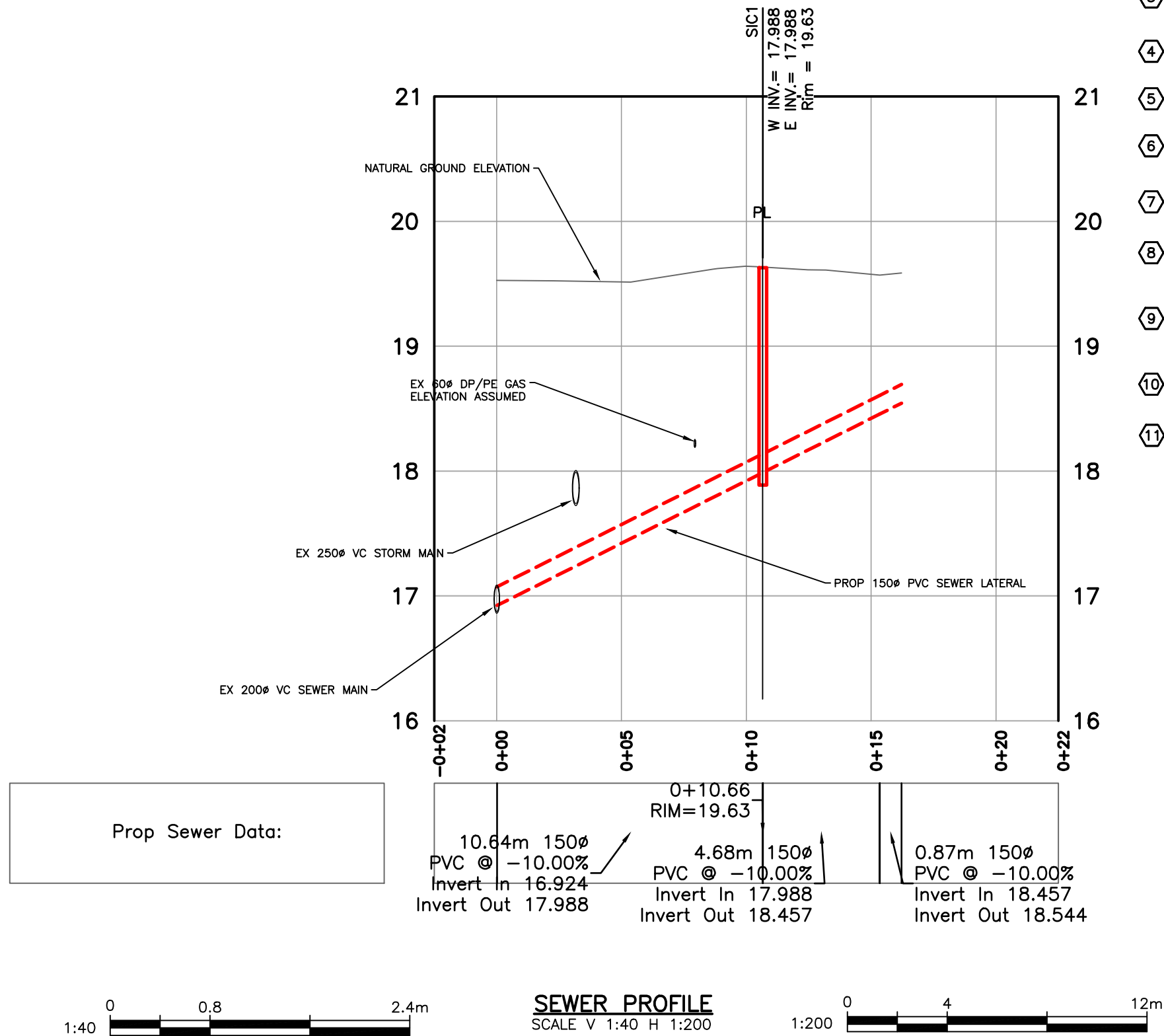
**CHANGE REQUESTS**  
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION.

**TESTING REQUIREMENTS**  
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY VICTORIA OR THE ENGINEER.

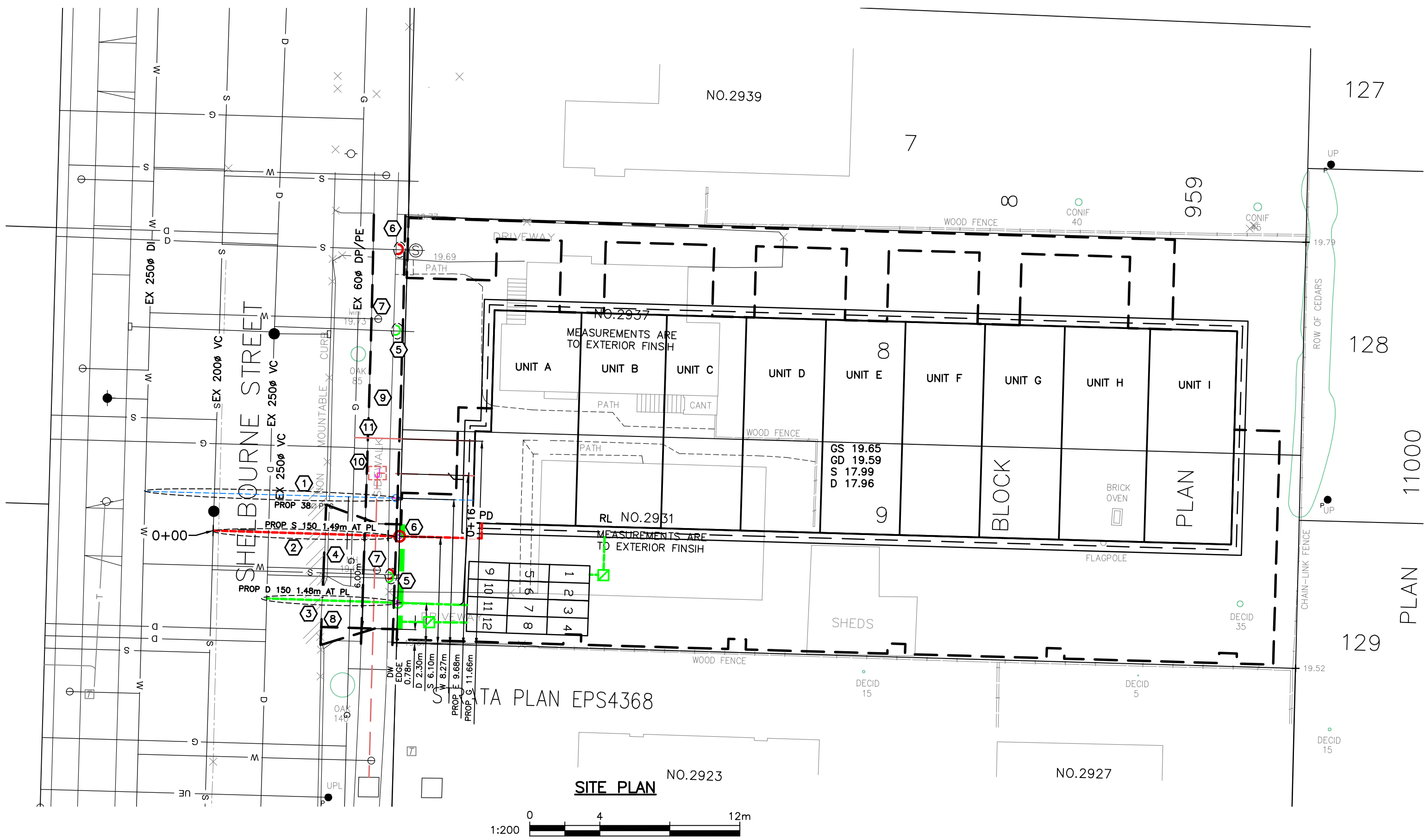
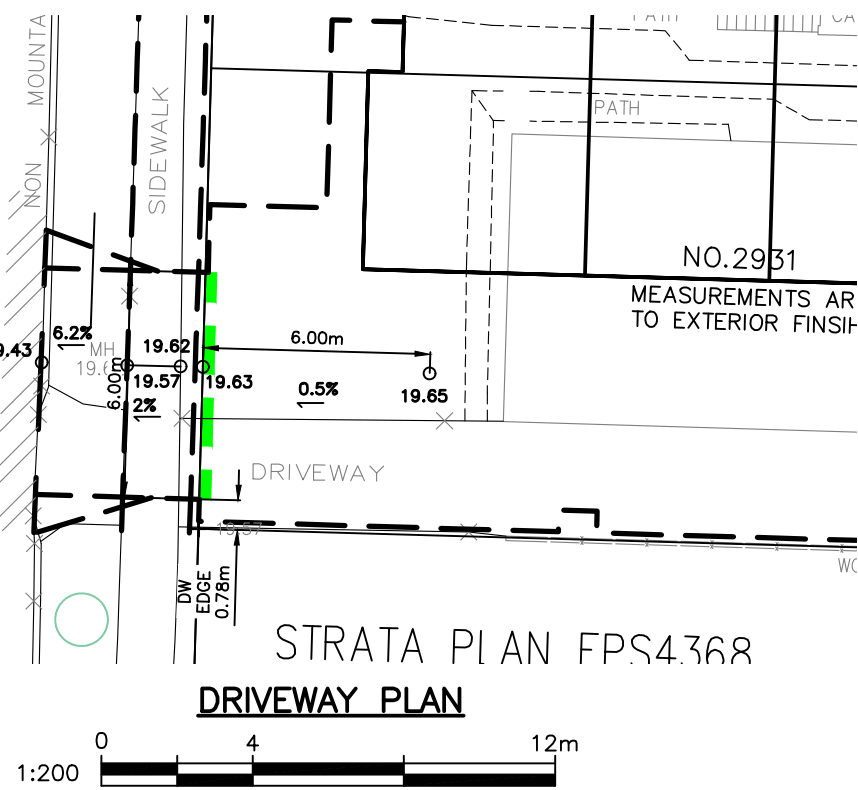
ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

**MISCELLANEOUS**  
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.

ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.



SHELBOURNE



PERMIT TO PRACTICE NUM: 1000348



KYLE ENGINEERING  
SUITE 1, 40 CADILLAC  
AVE, VICTORIA, BC, V8Z 1T2  
250 475 6906

KEY PLAN -- 1:2000

FOR PROPOSED SERVICES OF  
LOT 8 & 9 - BLOCK 8, VICTORIA DISTRICT, PLAN 959  
PID 008-132-615, 008-132-585  
2931 & 2937 SHELBOURNE STREET

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

| LEGEND                            |                   |             |              |
|-----------------------------------|-------------------|-------------|--------------|
| Existing Municipal Infrastructure | Drain             | Curb        | Concrete Box |
| Proposed Municipal Infrastructure | Ditch             | Sidewalk    | Wood Box     |
| Existing External U/G Utilities   | Sewer             | Manhole     | Catch Basin  |
| Proposed External U/G Utilities   | Water             | Cleanout    | Culvert      |
| Street Lighting                   | Pole Mount        | Silt Trap   | Cap / Plug   |
| Post Top                          | Pedestrian Signal | Air Valve   | Gas Valve    |
| Traffic Signal                    | Traffic Signal    | Water Meter |              |
| Ctrl Monument                     | Traverse Hub      |             |              |

REVISIONS

REVISIONS APPROVED

DESIGN APPROVED

CITY OF VICTORIA

2931, 2937 SHELBOURNE STREET

PROPOSED SEWER, STORM AND WATER SERVICES

B.M. : 928.044  
Design: ESK  
Scale: Hor: 1:200  
Elev: 20.734m  
Checked: ESK  
Date: JAN 2025

FILE No.

DESIGN No.

DRAWING No.

1 of 2

## CONTRACTORS OBLIGATION

### PRE-CONSTRUCTION MEETING

**PRE-CONSTRUCTION MEETING**  
THE CONTRACTOR MUST ARRANGE WITH THE ENGINEER, A PRE-CONSTRUCTION MEETING TO REVIEW THE SWM OBJECTIVES BEFORE SETTING OF ANY FOUNDATION OR BUILDING PERIMETER DRAINS.

REFER TO GENERAL NOTES

## SEDIMENT RETENTION

**SEDIMENT RETENTION**  
DURING CONSTRUCTION AND RE-ESTABLISHMENT OF VEGETATION AND LAWN, SURFACE WATER RUN-OFF FROM DISTURBED AREAS OF THE PROJECT, OR ANY OTHER SOURCE OF SEDIMENT OR POLLUTANT LADEN WATER, SHALL NOT BE ROUTED THROUGH ANY STORMWATER MANAGEMENT SYSTEM. A SEDIMENT POND, TRAP, PERIMETER PROTECTION, SUCH AS SILT FENCES, OR OTHER ENGINEER APPROVED SURFACE TREATMENTS SHALL BE USED.

## COMMISSIONING OF SWM SYSTEMS

TEMPORARY EROSION AND SILT CONTROL TREATMENTS SHALL REMAIN IN PLACE UNTIL THE ENTIRE SITE HAS BEEN STABILIZED AND VEGETATION RE-ESTABLISHED.

## SWM OBJECTIVES

**GENERAL**  
ALL LOTS SHALL BE PROVIDED WITH STORMWATER MANAGEMENT SYSTEMS FOR IMPERVIOUS SURFACES.

THIS PLAN SHOWS REPRESENTATIVE EXAMPLES OF TYPICAL SWM CONFIGURATIONS FOR EACH LOT.

THE OWNER AND CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING THE ULTIMATE ARRANGEMENT AND SCOPE OF REQUIRED SWM COMPONENTS.

INTENT OF SWM IS TO REDIRECT ALL HARD LANDSCAPE RUNOFF INTO ENGINEERED SYSTEMS FOR WATER RECHARGE TO SURFACE OR GROUND FOR DISPERSION AND OR INFILTRATION AS WELL AS TO REDUCE THE IMPACT THE DOWNSTREAM MUNICIPAL MAIN.

## BUILDING FOUNDATION PERIMETER DRAINS

THE FOUNDATION PERIMETER DRAINS (PD) FROM BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE COMMON OR MUNICIPAL DRAIN CONNECTION AS APPLICABLE, AND NOT ROUTED THROUGH THE ROOF OR DRIVEWAY DRAIN SYSTEMS.

FOUNDATION DRAINS TO BE PROVIDED OTHERWISE AS REQUIRED BY THE BC BUILDING CODE.

## BUILDING ROOF DRAINS

THE ROOF DOWNSPOUTS (RD) FROM DWELLINGS ARE TO BE SEPARATE FROM THE FOUNDATION PERIMETER DRAIN AND ROUTED THROUGH THE SWM SYSTEMS PRESCRIBED HEREIN.

## ON-SITE DRIVEWAYS

NEW DRIVEWAY SURFACE AREAS HAVE BEEN INCLUDED IN STORMWATER STORAGE CALCULATIONS.

PROVIDE DRIVEWAY SURFACE AND SUBGRADE DRAINAGE AS REQUIRED TO MEET OBJECTIVES AND DoS STD DWG DES33.

EMERGENCY STORM OVERFLOWS MUST BE DIRECTED TO MUNICIPAL SYSTEM AS INDICATED IN D11C.

## SWM SYSTEM DESIGN NOTES

**FOUNDATION PERIMETER DRAINS**  
PROVIDE DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC PLUMBING CODE UNLESS OTHERWISE APPROVED BY THE ENGINEER.

## ROOF DRAINS

PROVIDE ROOF WATER LEADERS AND PERIMETER ROOF DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC BUILDING CODE AS SHOWN ON THE APPROVED BUILDING PLANS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

DIRECT 100MM ROOF WATER COLLECTION PIPE TO STORAGE/FILTRATION CHAMBER TRENCHES VIA SWM SILT TRAP AS INDICATED.

REFER TO DETAIL D11C

## STORMWATER MANAGEMENT

 **SILT TRAP**

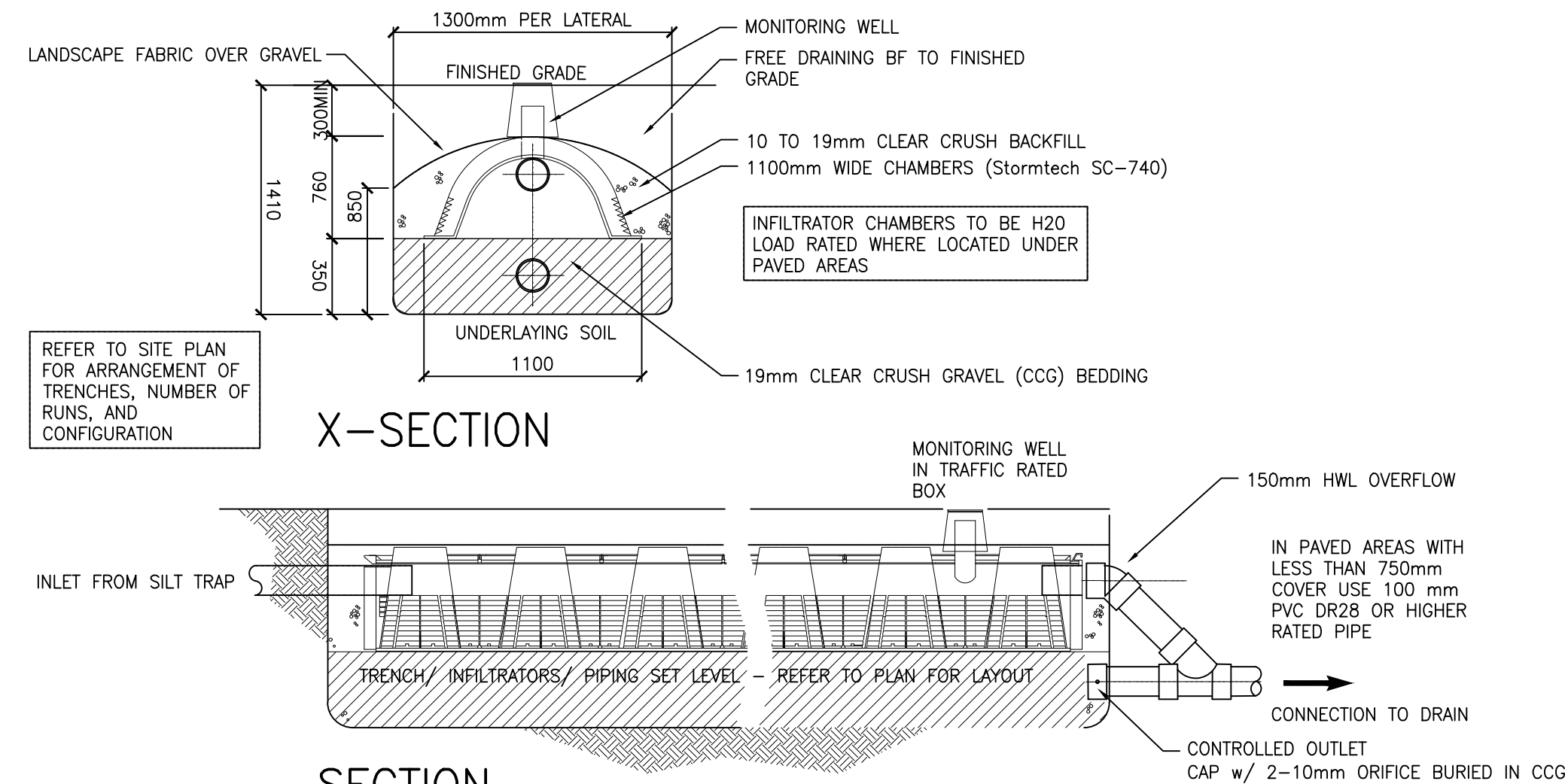
SWM RELATED SILT TRAPS (ST) TO BE CONSTRUCTED AS SHOWN IN DETAIL D12E

**B STORAGE/**

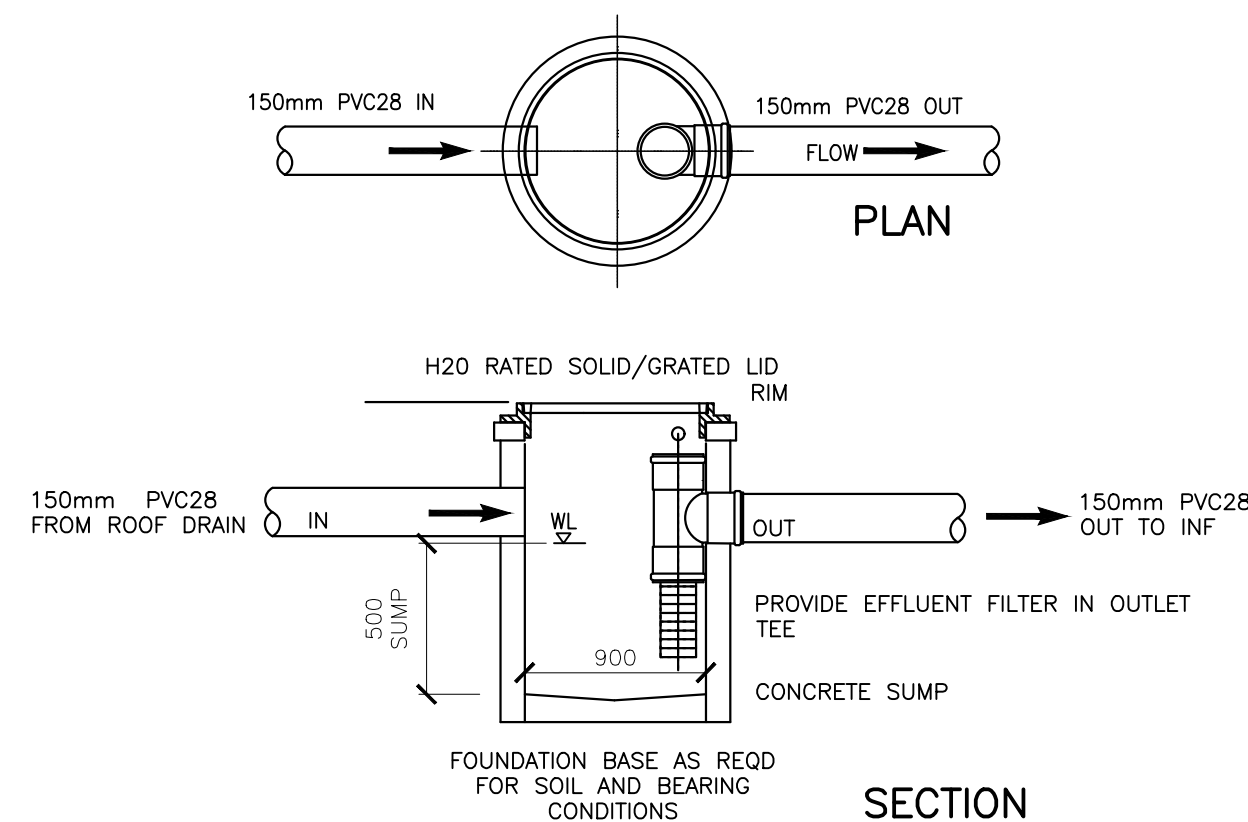
CHAMBER TRENCHES (TRN) TO BE CONSTRUCTED AS SHOWN IN DETAIL D11C

**C TRENCH D**

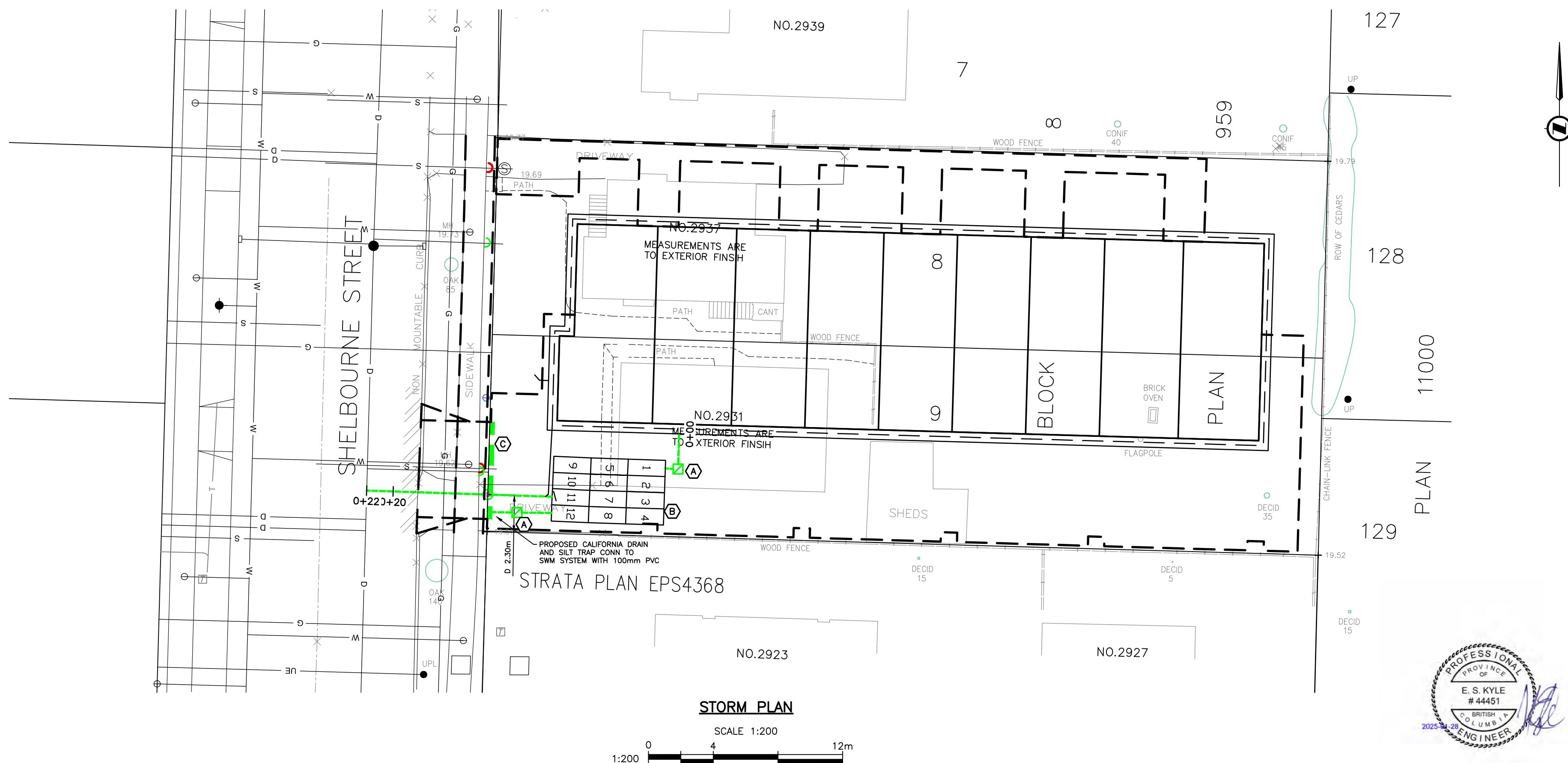
ALL TRENCH DAMS ARE TO BE PROVIDED AS FULL DEPTH COMPACTED CLAY OR OTHER APPROVED IMPERVIOUS BARRIER. OBJECTIVE IS TO ISOLATE THE INFILTRATOR TRENCH AND BED AREA FROM UPSTREAM WATER INGRESS AND DOWNSTREAM WATER EGRESS. LOCATIONS TO BE INDICATED BY ENGINEER ON SITE.



SWM INFILTRATION CHAMBER TRENCH – D11C1



SWM DRAIN SILT TRAP D12B

[illegible]



City of Victoria  
#1 Centennial Square  
Victoria, BC  
V8W 1P6

March 21, 2025

Re: 2931 & 2937 Shelbourne Street, Rezoning and Development Permit Application

---

Dear Mayor Alto and City of Victoria Council Members,

On behalf of 2931 Shelbourne Holdings Ltd., a subsidiary of Gustavson Capital Corporation, I am writing to submit an application for site-specific Rezoning and Development Permit for the properties located at 2937 and 2931 Shelbourne Street in the Oaklands Neighbourhood. This proposal is aimed at providing Family Focused Missing Middle Housing, aligning with the City's goals to enhance housing supply, diversity and affordability.

The subject lots spans 1,321 square metres. Our proposal involves a Floor Area Ratio of 1.05, with setbacks consistent with other recent townhouse developments along Shelbourne. This design will accommodate nine family-oriented townhomes seamlessly on the site.

Before acquiring the properties in September 2023, we initiated community consultations with the neighbouring single-family home property owner and engaged with the City of Victoria's planning department as early as March 2023. Based on the feedback received, we have tailored our design to reflect the community's preferences. The layout proposed differs from the City's Design Guidelines for Attached Residential Development (DGARD) by offering a configuration that provides much-needed density and minimizes disruption to the adjacent single-family home.

We acknowledge that the DGARD suggests a street-facing layout for the units, which may seem advantageous initially. However, a closer examination reveals several challenges:

- The street-facing units would infringe upon the privacy of the single-family homes situated at the rear, whereas our design ensures that the rear units have side-facing orientations, preserving greater privacy.
- The street-facing layout would result in increased paving, contrary to DGARD's intention of reducing hard surfaces.



- Placing outdoor spaces facing Shelbourne Street is less desirable for families due to the lack of safety and noise concerns. Our design features outdoor spaces situated away from the busy street, fostering a more pleasant environment for residents.
- Having one linear drive aisle reduces the amount of site space dedicated to vehicle maneuvering while eliminating any blind spots or corners. We believe this encourages the drive aisle to double as a space for activities and sports for its residents.

Our review of DGARD revealed that it lacks diagrams suitable for the density and type of lot we are working with. While we have adhered to other design principles outlined in DGARD, including high-quality finishes, and thoughtful street-front articulation, our proposed layout better addresses practical concerns such as noise, privacy, and safety. The townhomes will feature private outdoor spaces, enhancing the residents' enjoyment and comfort. Further the form and character has been revised from what we'd originally contemplated to better fit with that of the surrounding community.

This project aims to contribute to the City of Victoria's Missing Middle Housing strategy, which seeks to provide a range of housing types to enhance neighbourhood diversity and affordability. Our proposal for nine modest-sized townhomes includes various configurations to accommodate families and working professionals. The development will incorporate traditional architectural elements, energy-efficient construction standards (BC Energy Step Code 3), and sustainable practices such as permeable surfaces and low-carbon heating solutions. Additionally, each unit will have its own garage pre-wired for electric vehicle charging and provide bike storage to support sustainable transportation options.

The location of the property benefits from proximity to Hillside Avenue, regional transit routes, and essential services, making it a convenient and accessible addition to the Oaklands community. The surrounding area offers ample green spaces, parks, and educational facilities, further enhancing the project's suitability for family living.

In conclusion, our proposal represents a thoughtful and community-focused approach to developing Missing Middle Housing. We believe it aligns well with both the Oaklands Neighbourhood Local Area Plan and the City's broader housing objectives.

Thank you for your attention to this matter. Should you have any questions or require further information, please do not hesitate to contact us.

Sincerely,

Matthew Gustavson, CPA, CA

***President***

***Gustavson Capital Corporation***

*2233 Theatre Lane,*

*Victoria, British Columbia V8R 5T4*

*Phone: 250-415-3082*